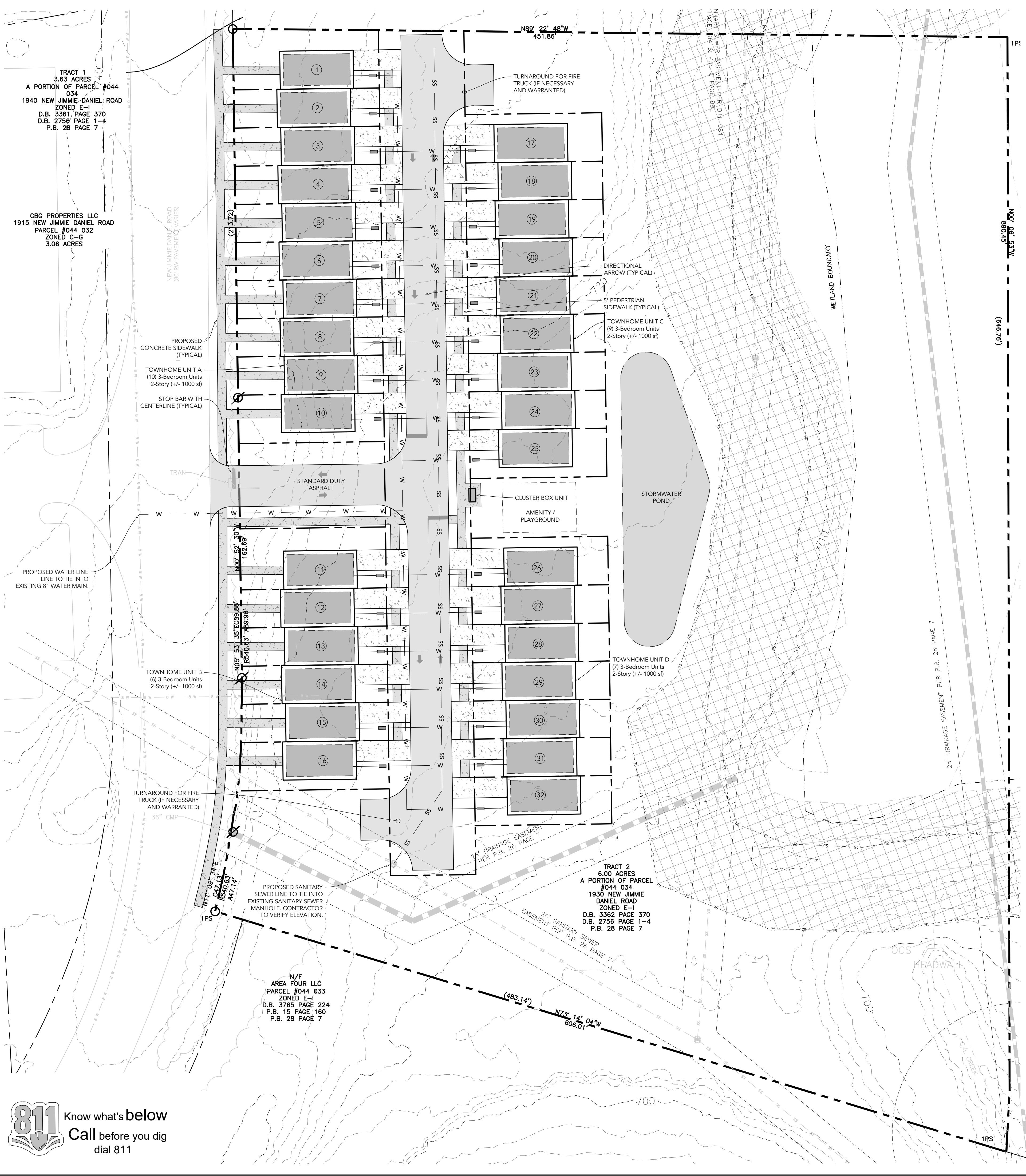
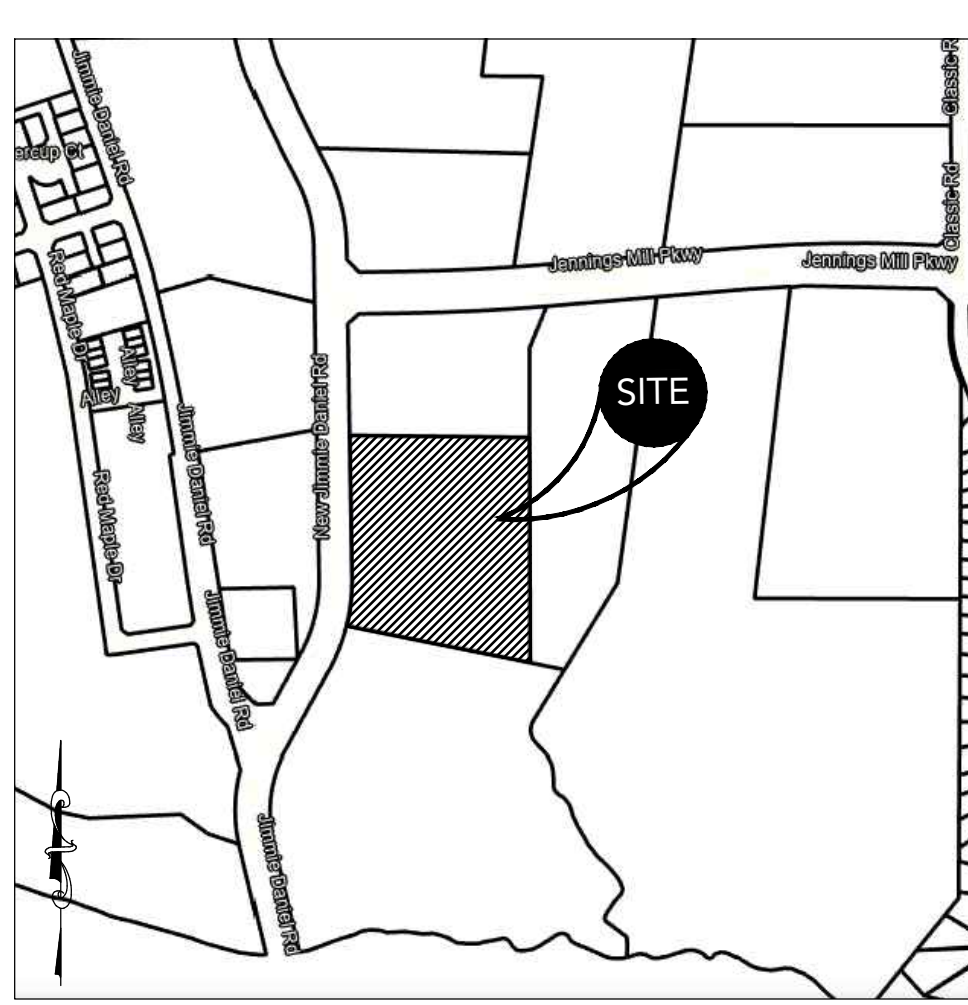


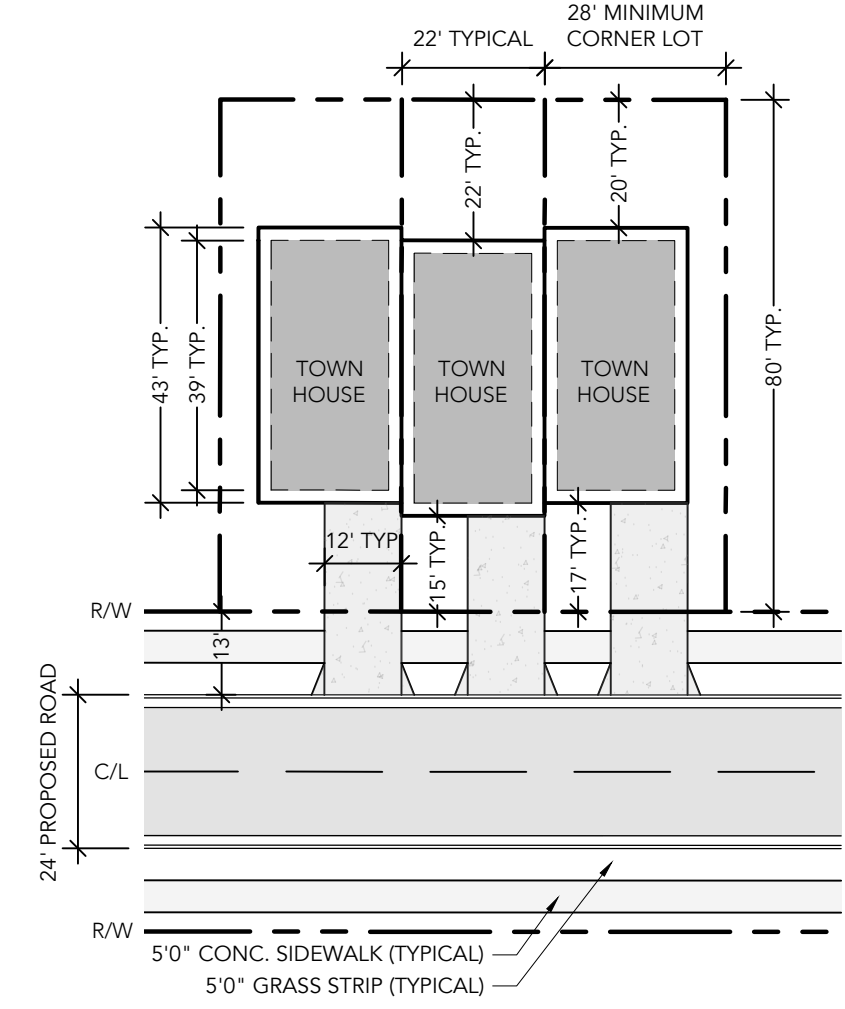


PARKING CALCULATIONS	
PARKING REQUIREMENT (RESIDENTIAL USES): THERE SHALL BE TWO PARKING SPACES PER DWELLING UNIT.	
TOWNHOUSE UNITS	32 TOWNHOUSES
REQUIRED PARKING	64 PARKING SPACES
PROVIDED PARKING	64 PARKING SPACES
(32 TOWNHOUSES WITH GARAGE AND DRIVEWAY)	
SITE DENSITY CALCULATIONS	
DENSITY REQUIREMENT (RM-2): THE MAXIMUM RESIDENTIAL DENSITY WILL BE 24 DWELLING UNITS PER ACRE (3 BEDROOMS = 3 UNITS)	
TRACT SIZE	6 ACRES
MAXIMUM DENSITY	144 DWELLING UNITS
DENSITY PROPOSED	96 DWELLING UNITS



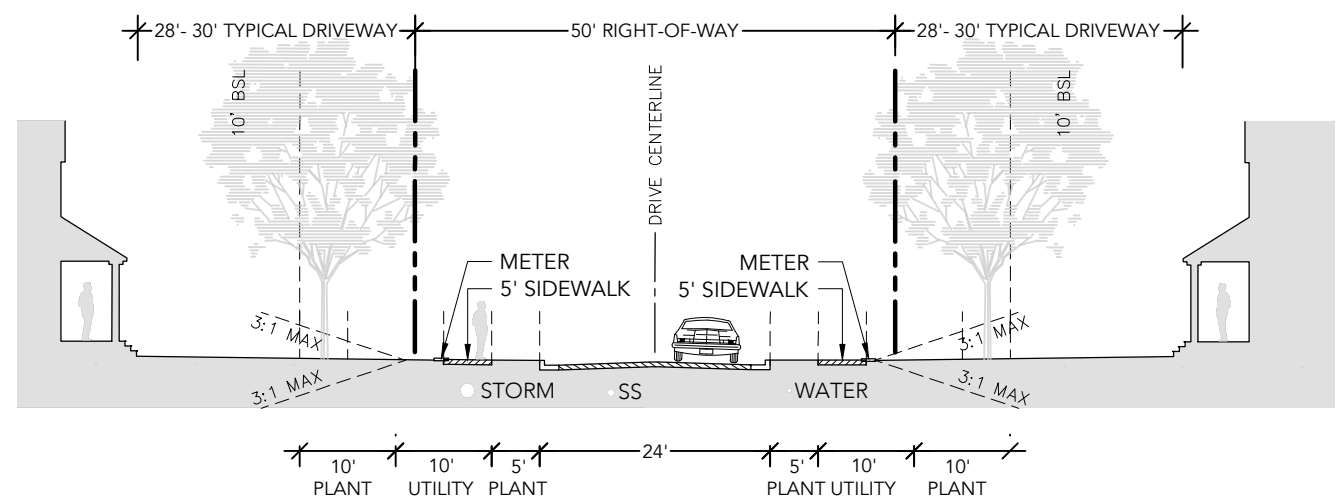
LOCATION MAP
SCALE: N.T.S.

PROJECT INFORMATION	
DRAWING SET PREPARED BY: CARTER ENGINEERING 1010 COMMERCE DRIVE BOGART, GA 30622 CONTACT: JEFF CARTER, P.E. PHONE: 770.725.1200 JEFF@CARTERENGINEERING.COM	OWNER/DEVELOPER: DAN AND CINDY WEBBER 1070 BUSINESS BLVD WATKINSVILLE, GA 30677 CONTACT: BRIAN ELROD 706.553.1000 BRIAN@NAIELROD.COM
SITE INFORMATION	
JURISDICTION	ATHENS-CLARKE COUNTY
PROPERTY LOCATION	1930 NEW JIMMIE DANIEL ROAD ATHENS-CLARKE COUNTY, GA 30606
TRACT ACREAGE	6 ACRES
DISTURBED ACREAGE	+/- 2.15 ACRES
PARCEL NUMBER	044 034A
CURRENT ZONING	E-1 (EMPLOYMENT INDUSTRIAL)
PROPOSED ZONING	RM-2 (MIXED DENSITY RESIDENTIAL)
OVERLAY DISTRICT	---
EXISTING USE	COMMERCIAL USE
PROPOSED USE	TOWNHOME DEVELOPMENT
REQUIRED BUILDING SETBACKS	FRONT: 10- FEET SIDE: 0- FEET REAR: 10- FEET
MAXIMUM LOT COVERAGE	65%
MINIMUM LANDSCAPE	35%
MAXIMUM BUILDING HEIGHT	35- FEET
SANITARY SEWER SERVICE	ATHENS-CLARKE COUNTY
WATER SERVICE	ATHENS-CLARKE COUNTY
FEMA FIRM NO.	13059C0031E
FEMA FIRM DATE	9.15.2022
FEMA SFHA ZONE	ZONE X
UNDERGROUND UTILITY DISCLAIMER: THE UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD INFORMATION AND/OR EXISTING DRAWINGS. CARTER ENGINEERING DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CARTER ENGINEERING DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE OWNER, HIS/HER EMPLOYEES, CONSULTANTS AND CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE CARTER ENGINEERING IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD LOCATE ALL UTILITIES PRIOR TO COMMENCING WORK AND NOTIFY ENGINEER IF A DISCREPANCY IS FOUND. SPECIFICALLY, THE CONTRACTOR SHALL VERIFY THE INVERT ELEVATIONS OF ALL EXISTING STORM AND SANITARY SEWER STRUCTURES PRIOR TO COMMENCEMENT OF STORM AND SANITARY SEWER CONSTRUCTION.	



TYPICAL LOT LAYOUT

SCALE: 1" = 30'0"



TYPICAL STREET CROSS SECTION - STREETSCAPE WITH NO STREET PARKING

SCALE: 1" = 20'0"

