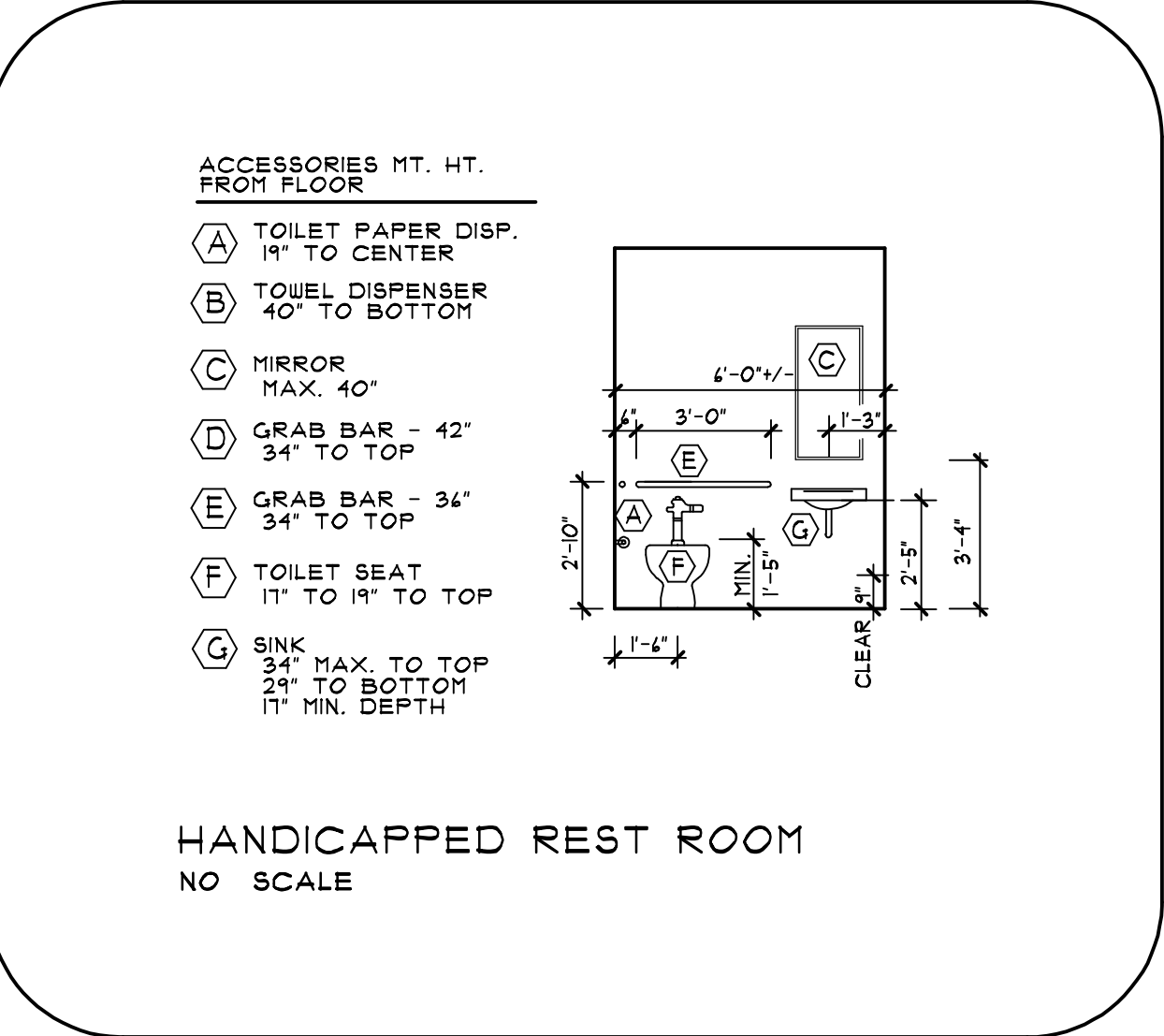


ABBREVIATIONS:

AB	ANCHOR BOLT	KO	KNOCK OUT
ADJ	ADJUSTABLE	KD	KNOCK DOWN
AFF	ABOVE FINISH FLOOR	L	LENGTH
ALT	ALTERNATE	LAD	LADDER
ALUM	ALUMINUM	LAM	LAMINATE
ANOD	ANODIZED	LAV	LAVATORY
APPROX	APPROXIMATE	LB	POUND
ARCH	ARCHITECTURAL	LVL	LEVEL
ASF	ASPHALT	LVR	LOUVER
AUTO	AUTOMATIC	LW	LIGHTWEIGHT
BD	BOARD	MACH	MACHINE
BIT	BITUMINOUS	MAS	MASONRY
BLDG	BUILDING	MAT	MATERIAL
BLK	BLOCK	MAX	MAXIMUM
BLKG	BLOCKING	MB	MARKER BOARD
BN	BEAK	MCCJ	MASONRY CONTROL JOINT
BOT	BOTTOM	MECH	MECHANICAL
BR	BRONZE	MEMB	MEMBRANE
BRDG	BRIDGING	MFR	MANUFACTURER
BRG	BEARING	NH	NANHOLE
BUR	BUILT-UP ROOF	MIN	MINIMUM
CAB	CABINET	MIR	MIRROR
CEM	CEMENT	MISC	MISCELLANEOUS
CHAM	CHAFFER	MO	MASONRY OPENING
CJ	CONTROL JOINT	MTD	MOUNTED
CLG	CEILING	MTL	METAL
CLK	CAULKING	MUL	MULLION
CL	CENTER LINE	NIC	NOT IN CONTRACT
CMU	CONCRETE MASONRY UNIT	NO	NUMBER
COL	COLUMN	NOM	NOMINAL
COMB	COMBINATION	NTS	NOT TO SCALE
CONC	CONCRETE	OC	ON CENTER
CONST	CONSTRUCTION	OD	OUTSIDE DIAMETER
CONT	CONTINUOUS	OFS	OUTSIDE FACE OF STUD
CONTR	CONTRACTOR	OH	OVER HEAD
COR	CORRIDOR	OPNG	OPENING
CT	CERAMIC TILE	OPP	OPPOSITE
CTR	CENTER	OZ	OUNCE
DA	DOUBLE ACTING	PERF	PERFORATED
DBL	DOUBLE	PL	PROPERTY LINE
DCJ	DRYWALL CONTROL JOINT	PLAM	PLASTIC LAMINATE
DEPT	DEPARTMENT	PLAS	PLASTIC
DF	DRINKING FOUNTAIN	PWD	PLYWOOD
DIA	DIAMETER	PR	PAIR
DIG	DIGITAL	PROP	PROPERTY
DIFF	DIFFUSER	PSF	POUNDS PER SQUARE FOOT
DIM	DIMENSION	PSI	POUNDS PER SQUARE INCH
DISP	DISPENSER	PT	PRESSURE TREATED
DIV/V	DIVIDER/DIVISION	PTD	PAPER TOWEL DISPENSER
DNV	DOWN	PTN	PARTITION
DS	DOWN SPOUT	PVMT	PAVEMENT
EA	EACH	QT	QUARRY TILE
EJ	EXPANSION JOINT	R	RISER
EL	ELEVATION	RAD	RADIUS
ELEC	ELECTRICAL	RD	ROOF DRAIN
ELEV	ELEVATOR	REF	REFRIGERATOR
EMER	EMERGENCY	REG	REGISTER
ENCL	ENCLOSURE	REINF	REINFORCED
EP	ELECTRIC PANEL	REQD	REQUIRED
EQ	EQUAL	REV	REVISION
EQPT	EQUIPMENT	RF	ROOFING
ES	EACH SIDE	RM	ROOM
EW	EACH WAY	RO	ROUGH OPENING
EXIST	EXISTING	ROW	RIGHT OF WAY
EXP	EXPANSION	SC	SOLID CORE
EXT	EXTERIOR	SD	SOAP DISPENSER
FA	FIRE ALARM	SEC	SECTION
FD	FLOOR DRAIN	SF	SQUARE FOOT
FE	FIRE EXTINGUISHER	SH	SHELF
FEB	FIRE EXT. ON BRACKET	SHT	SHEET
FEC	FIRE EXT. CABINET	SM	SHEET
FIN	FINISH	SND	SANITARY NAPKIN DISPENSER
FF	FINISH FLOOR	SNR	SANITARY NAPKIN RECEPTACLE
FLR	FLOOR	SPEC	SPECIFICATION
FLASH	FLASHING	SQ	SQUARE
FLUOR	FLUORESCENT	SS	STAINLESS STEEL
FCC	FACE OF CONCRETE	STD	STANDARD
FOW	FACE OF WALL	STL	STEEL
FT	FOOT/FEET	STOR	STORAGE
FTG	FOOTING	STR	STRUCTURAL
FURR	FURRING	SUSP	SUSPENSION/SUSPENDED
G	GAUGE	SYN	SYNTHETIC
GA	GALVANIZED	SYS	SYSTEM
GALV	GALVANIZED	T	TREAD
GB	GRAB BAR	T/B	TOP AND BOTTOM
GEN	GENERAL	TOC	TOP OF CURB
GL	GLASS	TELE	TELEPHONE
GND	GROUND	TK	TONGUE AND GROOVE
GRP	GRADE	THK	THICK
GRY BD	GYPSPUM WALL BOARD	THD	THRESHOLD
H	HIGH	TOP	TOP OF PAVEMENT
HB	HOSE BIB	TS	TUBULAR STEEL
HC	HOLLOW CORE	TOS	TOP OF STEEL
HDW	HARDWARE	TOW	TOP OF WALL
HDWD	HARDWOOD	TYP	TYPICAL
HM	HOLLOW METAL	US	UNDERWRITERS LABORATORIES
HORIZ	HORIZONTAL	UNF	UNFINISHED
HR	HOUR	UNO	UNLESS OTHERWISE NOTED
HT	HEIGHT	V	VINYL
ID	INSIDE DIAMETER	YCT	VINYL COMPOSITION TILE
INFO	INFORMATION	VERT	VERTICAL
INSUL	INSULATION	VEST	VESTIBULE
INT	INTERIOR	VWC	VINYL WALL COVERING
INV	INVERT	W	WITH
JAN	JANITOR	WC	WATER CLOSET
JT	JOINT	WO	WOOD
JST	JOIST	WH	WATER HEATER
JV	JOB VERIFY	W/O	WITHOUT
		WP	WATERPROOF
		WT	WEIGHT
		WM	WELDED WIRE MESH



INDEX OF DRAWINGS

ARCHITECTURAL

A01	TITLE SHEET, PROJECT NOTES, INDEX OF DRAWINGS, LOCATION MAP, PROPERTY/BUILDING OUTLINE	REVISED 01-22-16 CMP
A100	EXISTING FLOOR PLAN W/ DEMO/RELOCATE LEGEND	
A101	FLOOR PLAN ROOM FINISH SCHEDULE DOOR & FRAME SCHEDULE	
A102	EQUIPMENT LAYOUT PLAN EQUIPMENT SCHEDULE OUTSIDE BAR PLAN	
A103	REFLECTED CEILING PLAN ELEC/HVAC LEGEND	
A104	BUILDING LIFE SAFETY PLAN	
A105	FOOD COURT LIFE SAFETY PLAN	REVISED 01-22-16 CMP
A106	FENCE ELEVATION, DETAILS	
A107	OUTSIDE BAR FLOOR PLAN, ELEVATIONS	REVISED 01-22-16 CMP

BY OTHERS

M-1	MECHANICAL
E-1	ELECTRICAL
P-1	PLUMBING
C-1	PARCEL SURVEY
L-1	LANDSCAPE PLAN

PROJECT NOTES:

144 WEST CLAYTON STREET WILL BE AN EVENTS SPACES. THE PARKING LOT ADJOINING THE BUILDING WILL BECOME A FOOD COURT.

CODE INFORMATION

IBC	2018	
CONSTRUCTION TYPE - III-B		MAIN BUILDING, 12-II-24
SPRINKLED, UNPROTECTED		CMF
OCCUPANCY - A-2 (NIGHTCLUB)		
CONSTRUCTION TYPE - III-A		OUTSIDE BAR, 12-II-24
SPRINKLED, UNPROTECTED		CMF
LIFE SAFETY CODE 2018		
CONSTRUCTION TYPE - III (200)		MAIN BUILDING, 12-II-24
SPRINKLED, UNPROTECTED		CMF
CONSTRUCTION TYPE - III (211)		OUTSIDE BAR, 12-II-24
SPRINKLED, UNPROTECTED		CMF
OCCUPANCY - ASSEMBLY		

ZONING: CD ACRES: 0.366

TAX # - 171A5 A009

APPROXIMATE SQUARE FOOTAGE

MAIN FLOOR	4,218
------------	-------

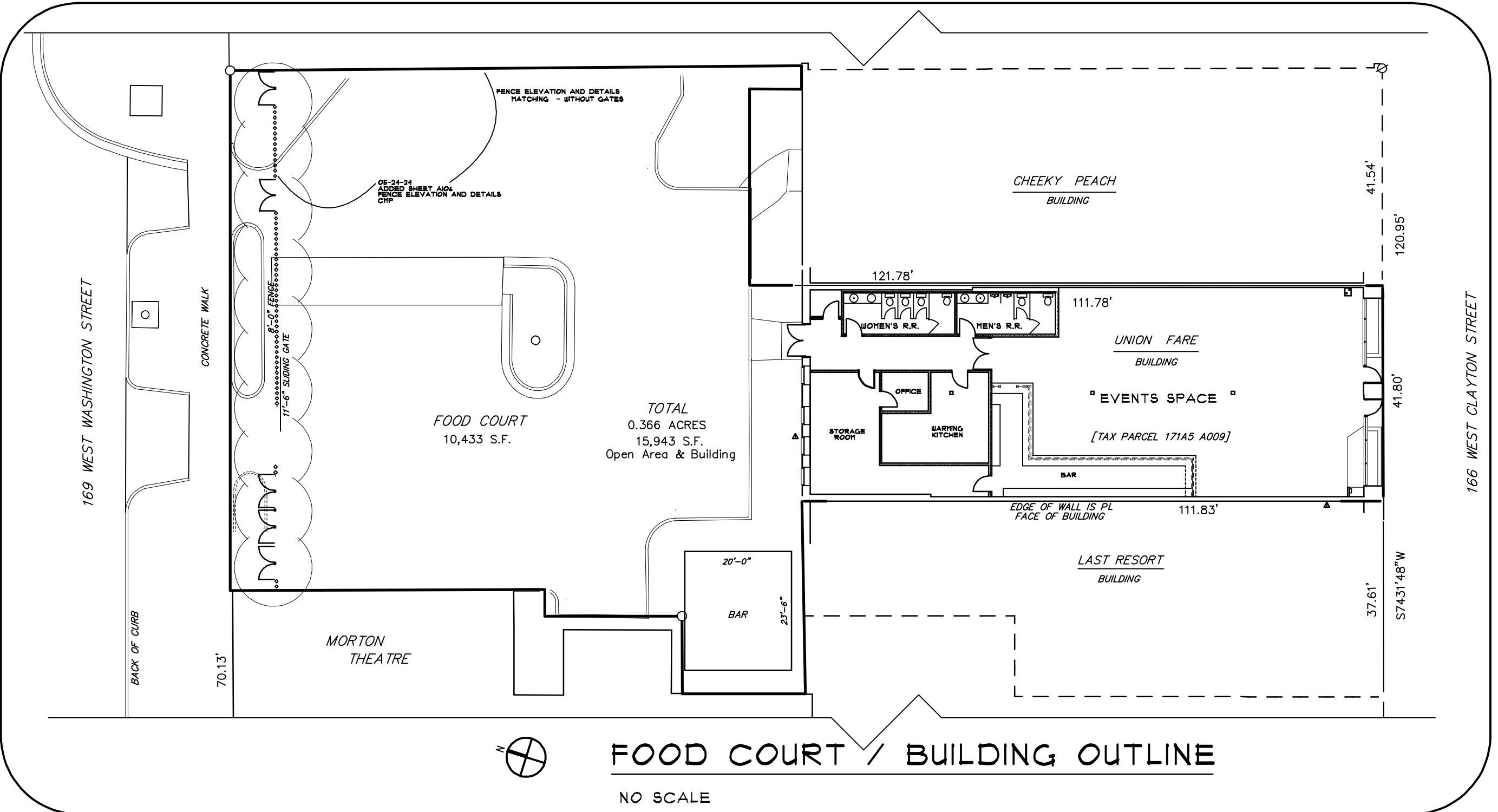
OCCUPANT LOAD -

EVENTS SPACE	3,355 / 1 = 334
OTHER SPACES	1,252 / 300 = 5

CHANGE OF USE:
UNION FARE
166 WEST CLAYTON STREET
ATHENS, GA 30601

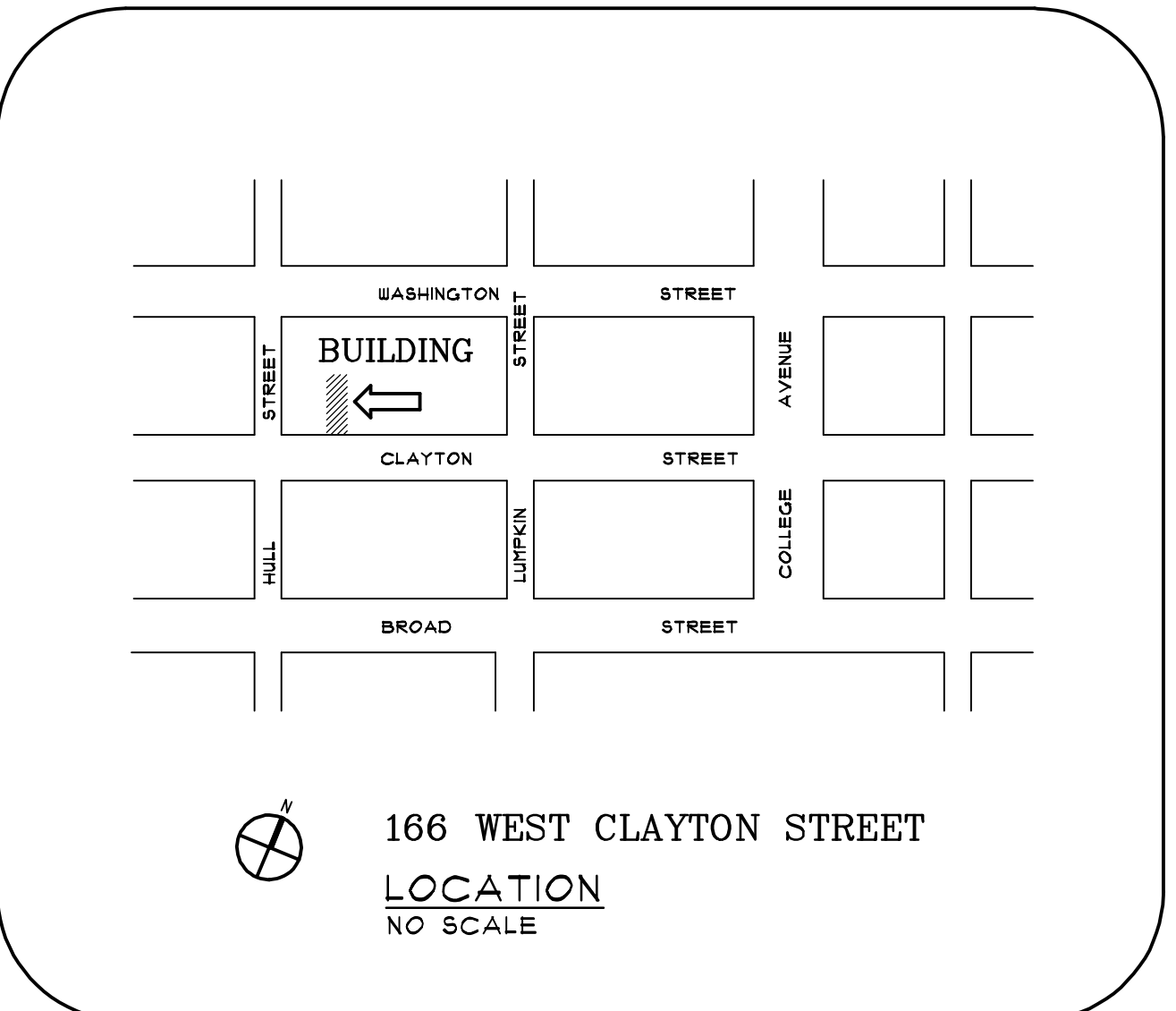
CHANGE OF USE:
UNION FARE
166 WEST CLAYTON STREET
ATHENS, GA 30601

CHANGE OF USE:
UNION FARE
166 WEST CLAYTON STREET
ATHENS, GA 30601



GENERAL NOTES:

1. THE PLANS ARE COMPLEMENTARY; THEREFORE, THE CONTRACTOR SHALL SEE ALL ARCHITECTURAL DRAWINGS AND SPECIFICATIONS. WHAT IS REQUIRED BY ANY ONE SHALL BE BINDING AS IF REQUIRED BY ALL. THE INTENTION OF THE DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND OTHER ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. ALL SUBCONTRACTORS WILL BE RESPONSIBLE FOR KNOWLEDGE OF ALL CONSTRUCTION DOCUMENTS.
2. THE CONTRACTOR SHALL VISIT THE SITE, FAMILIARIZE HIMSELF WITH THE LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED, AND CORRELATE HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
3. CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND OWNER. THE CONTRACTOR SHALL USE ALL SAFETY MEASURES TO MEET OSHA REQUIREMENTS. ARCHITECT WILL NOT BE INVOLVED IN ANY OF THE CONSTRUCTION ACTIVITY UNLESS SUB-SURFACE OR UNKNOWN CONDITIONS CHANGE THE REQUIREMENTS OF THE DETAILS.
4. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS AT THE SITE, REPORTING ALL DISCREPANCIES BETWEEN THE JOB AND DRAWINGS TO THE OWNER.
5. ALL WORK SHALL COMPLY TO STATE AND LOCAL CODES.



WASHINGTON STREET

CLAYTON STREET

BROAD STREET

HILL STREET

LUPKIN STREET

COLLEGE AVENUE

BUILDING

166 WEST CLAYTON STREET

LOCATION


NO SCALE

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P. O. BOX 1001, ATHENS, GA 30603
706-548-4229


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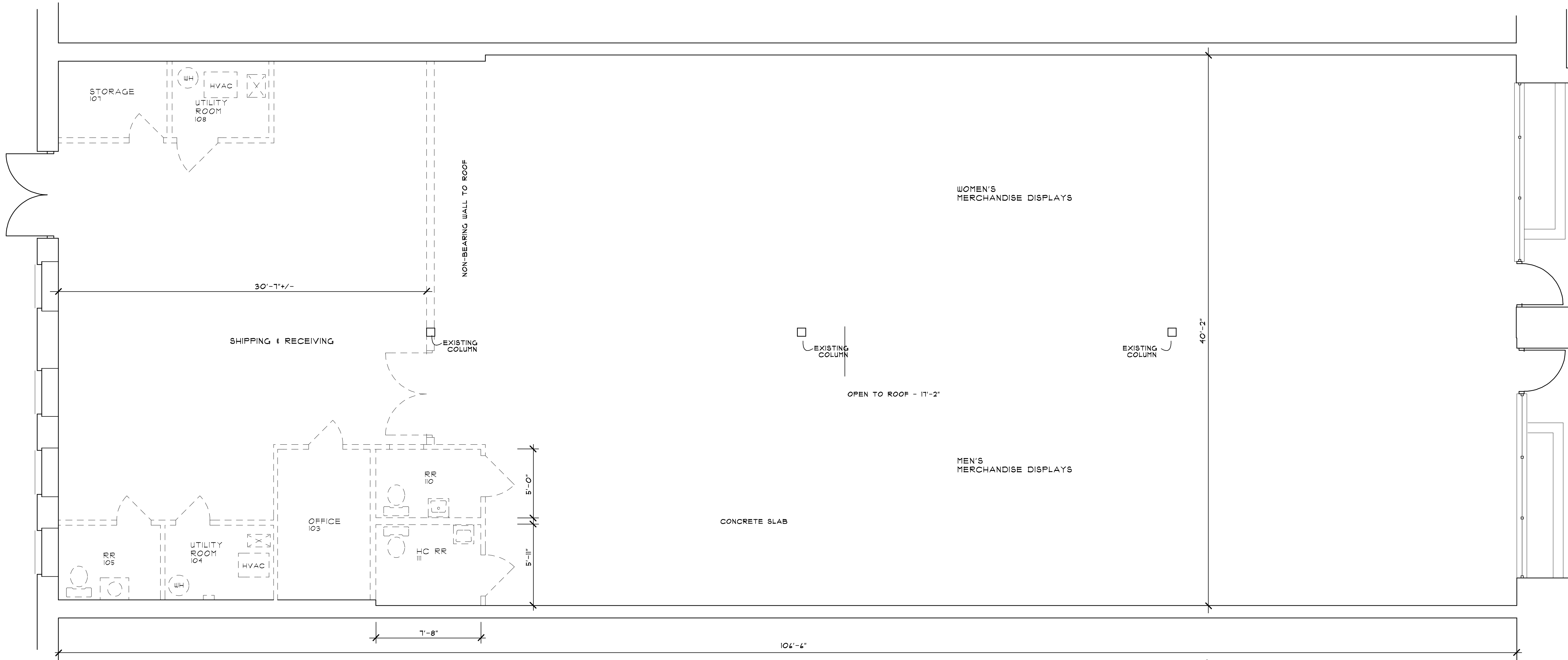
PROJECT: CHANGE OF USE:
UNION FARE
166 WEST CLAYTON STREET
ATHENS, GA 30601

DRAWING



DRAWING





EXISTING FLOOR PLAN &
DEMOLITION FLOOR PLAN
1/4" = 1'-0"

- REMOVE DOORS, FRAMES
- REMOVE WALLS
- REMOVE PLUMBING
- RELOCATE HVAC
- RELOCATE WH
- DEMO/RELOCATE LEDGEND

APPROVED PLANS

Any changes to this set of plans must be reviewed and approved by the appropriate Athens-Clarke County Departments.

PR-2024-04-0813

02/06/2025

REFERENCE #

DATE

REVISIONS

DATE: 04/23/24

CHANGE OF USE:

UNION FARE

166 WEST CLAYTON STREET

ATHENS, GEORGIA 30601

PROJECT:

DRAWING

A100

CHARLES M. PORTER, ARCHITECT

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DOOR & FRAME SCHEDULE

NO.	DOOR					FRAME		LABEL	GLASS TYPE	HARDWARE GROUP	REMARK
	TYPE	MAT'L	WIDTH	HGT.	THK.	TYPE	MAT'L				
01	A	WD GLASS	3'-0"	6'-8"	1 3/4"	-	WD.	-	TEMP.	1	W/ CLOSURE
02	A	WD GLASS	3'-0"	6'-8"	1 3/4"	-	WD.	-	TEMP.	1	W/ CLOSURE
03	B	SCWD	6'-0"	6'-8"	1 3/4"	2	HM.	-		2	W/ CLOSURES
04	C	SCWD	2'-6"	6'-8"	1 3/4"	1	HM.	-		4	W/ CLOSURE
05	C	SCWD	3'-0"	6'-8"	1 3/4"	1	HM.	-		3	
06	C	SCWD	2'-0"	6'-8"	1 3/4"	1	HM.	-		3	
07	B	SCWD	2'-6"	6'-8"	1 3/4"	1	HM.	-		3	
08	C	SCWD	2'-6"	6'-8"	1 3/4"	1	HM.	-		3	
09	C	SCWD	2'-6"	6'-8"	1 3/4"	1	HM.	-		4	W/ CLOSURE
10	B	SCWD	6'-0"	6'-8"	1 3/4"	1	HM.	-		3	
11	B	HM	6'-0"	6'-8"	1 3/4"	2	HM.	-		2	W/ CLOSURES, INSULATED

VERIFY WITH OWNER LOCKSETS AND MASTER KEY

HARDWARE SCHEDULE

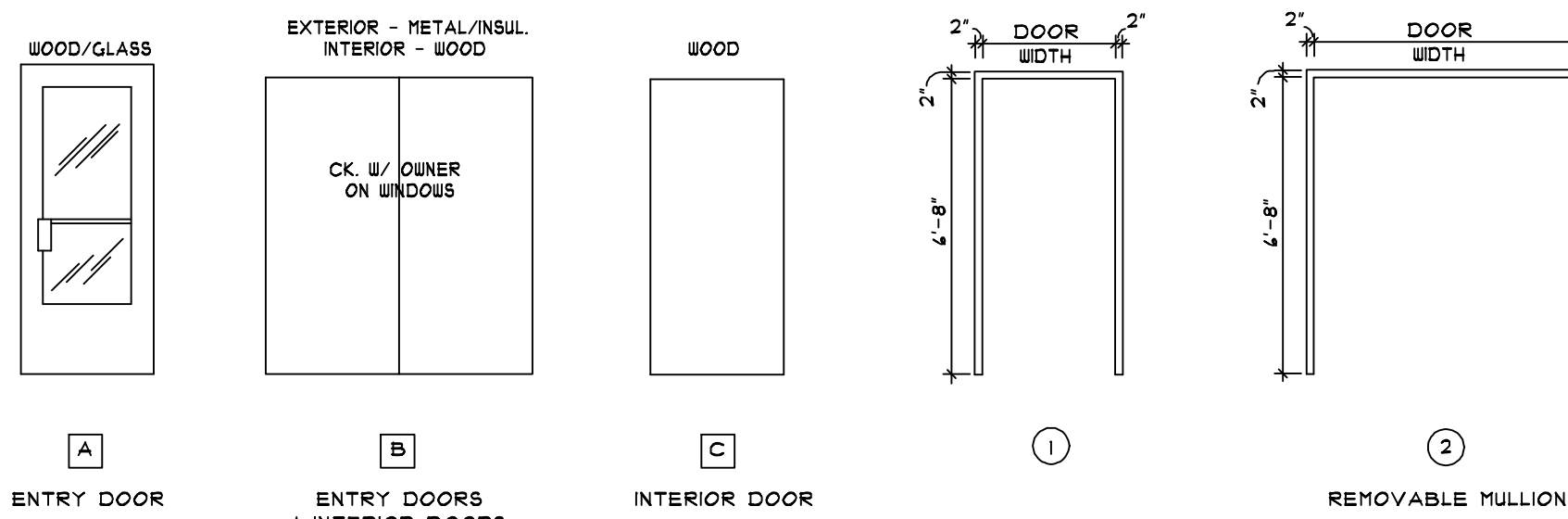
DOOR TYPE A
HAGAR HINGES
MISC.: SILENCERS, STOPS,
EXTERIOR DOORS ADD:
WEATHERSTRIPPING

GROUP 1 ENTRY (EXISTING)
PANIC DEVICE
CLOSURE
WEATHERSTRIPPING

GROUP 2 ENTRY (EXIT)
PANIC DEVICE EACH DOOR
CLOSURE (PANIC DEVICE SIDE)
WEATHERSTRIPPING

GROUP 3 OFFICE, STORAGE ROOM
WARMING KITCHEN
JANITORS CLOSET
KEYED LOCKSET / HANDLE

GROUP 4 HC RR
PUSH PLATE
FULL PLATE
CLOSURE
KICKPLATE

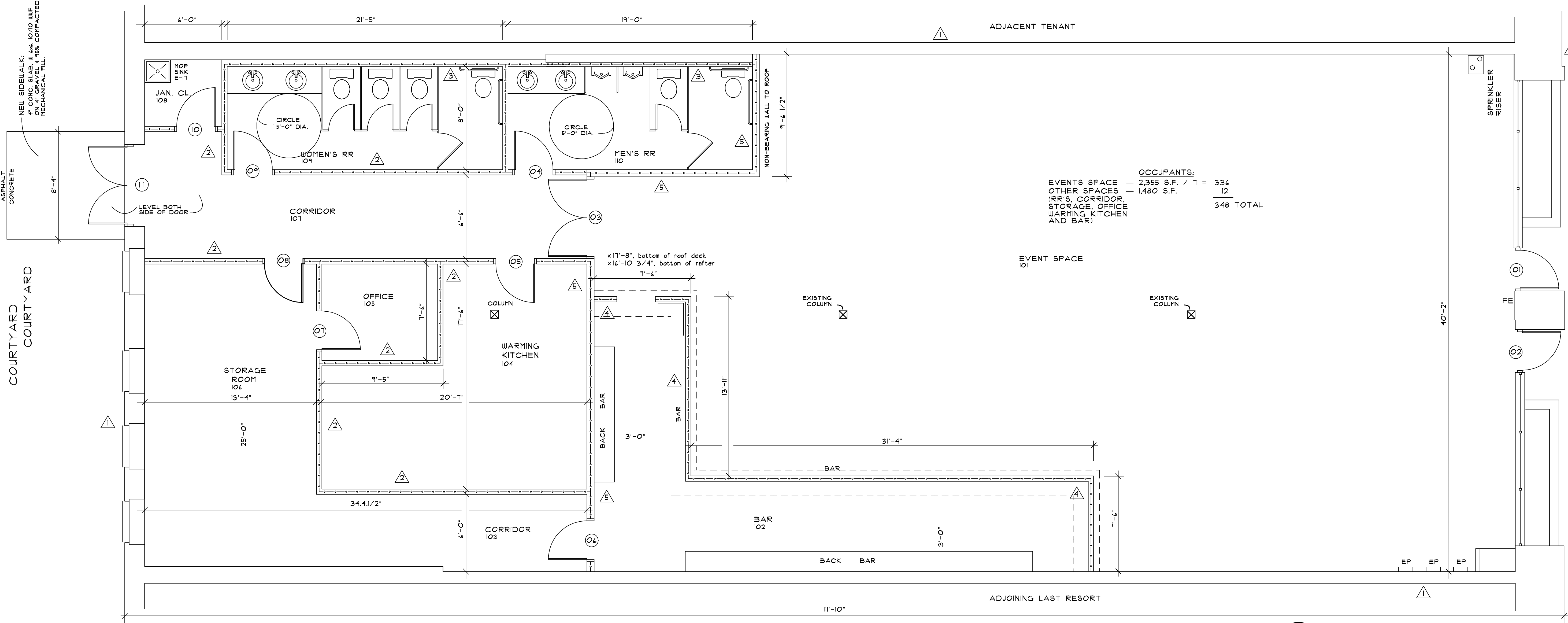


DOOR & FRAME ELEV.
NO SCALE

FINISH SCHEDULE

NO	ROOM NAME	FLOOR		WALL		CEILING			REMARKS
		FINISH	BASE	MATERIAL	FINISH	MATERIAL	FINISH	HEIGHT	
101	EVENTS SPACE	EPOXY	4" VINYL	GYP. BD.	PAINT	WD.	-	17'-0"+/-	OPEN CEILING
102	BAR	Q.T.	6" VINYL	GYP. BD.	PAINT	WD.	-	17'-0"+/-	OPEN CEILING
103	CORRIDOR	Q.T.	4" VINYL	GYP. BD.	PAINT	ACT.	-	8'-10"	
104	WARMING KITCHEN	Q.T.	6" VINYL	GYP. BD.	FRP	ACT.	-	8'-10"	WASHABLE CEILING TILE
105	OFFICE	Q.T.	4" VINYL	GYP. BD.	PAINT	ACT.	-	8'-10"	
106	STORAGE ROOM	Q.T.	4" VINYL	GYP. BD.	PAINT	ACT.	-	8'-10"	
107	CORRIDOR	Q.T.	4" VINYL	GYP. BD.	PAINT	ACT.	-	8'-10"	
108	JANITOR'S CLOSET	Q.T.	6" VINYL	GYP. BD.	PAINT	ACT.	-	8'-10"	
109	WOMEN'S RR	Q.T.	6" VINYL	GYP. BD.	PAINT	ACT.	-	8'-10"	
110	MEN'S RR	Q.T.	6" VINYL	GYP. BD.	PAINT	ACT.	-	8'-10"	
111	OUTSIDE BAR	Q.T.	6" VINYL	GYP. BD.	PAINT	ACT.	-	8'-10"	INTERIOR GYP. BD. - EXT.

V.C.T. - VINYL COMPOSITION TILE
Q.T. - QUARRY TILE



FLOOR PLAN
1/4" = 1'-0"

WALL TYPES: ALL WOOD STUDS

1 EXISTING BRICK WALL

2 2 X 4 STUDS, 16" O.C. W/ 5/8" GYP. BD. EACH SIDE

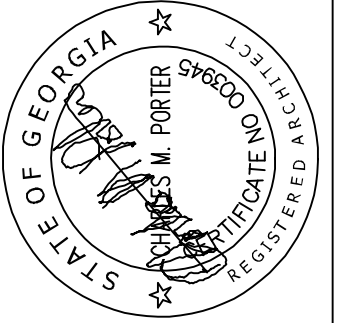
3 2 X 4 STUDS, 16" O.C. W/ 5/8" GYP. BD. ONE SIDE

4 2 X 4 STUDS, 16" O.C. W/ 5/8" GYP. BD. EACH SIDE BAR COUNTER WALL

5 2 X 4 STUDS, 16" O.C. W/ 5/8" GYP. BD. EACH SIDE

6 2 X 4 STUDS, 16" O.C. W/ 5/8" GYP. BD. INSIDE, 5/8 PLYWD OUTSIDE

ADDED WOOD STUDS
05-24-24
CMP



REVISIONS

05/24/24

DATE: 04/23/24

CHARLES M. PORTER, ARCHITECT

P. O. BOX 1001, ATHENS, GA 30603

706-548-4229

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CHANGE OF USE:

UNION FARE

166 WEST CLAYTON STREET

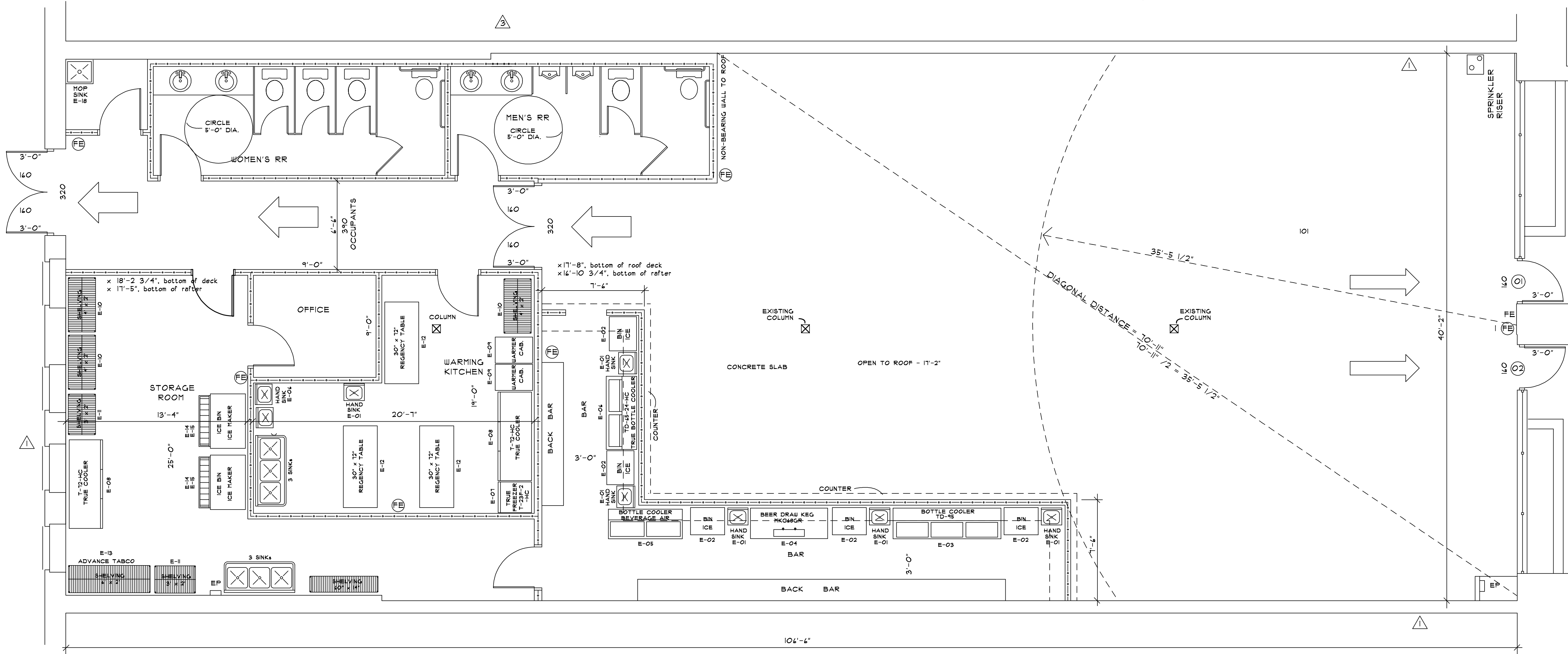
ATHENS, GEORGIA 30601

PROJECT:

DRAWING

A101

COURTYARD



LEGEND

- VERIFY W/ ELEC. PLAN
- 1 (FE) FIRE EXTINGUISHER 5# 4A:40B:CBC 4'-0" ABOVE FLOOR
- 2 (FE) FIRE EXTINGUISHER 2# 4A 4'-0" ABOVE FLOOR
- (EXIT SIGN) EXIT SIGN W/ BATTERY BACKUP SHALL MEET REQUIREMENTS OF: NFPA 101, SECTION 7.10
- (EXIT SIGN) EXIT SIGN W/ EMERGENCY LIGHT W/ BATTERY BACKUP SHALL MEET REQUIREMENTS OF: NFPA 101, SECTION 7.10
- (EXIT SIGN) EMERGENCY LIGHT W/ BATTERY BACKUP SHALL MEET REQUIREMENTS OF: NFPA 101, SECTION 7.9

APPROVED PLANS

Any changes to this set of plans must be reviewed and approved by the appropriate Athens-Clarke County Departments.

PR-2024-04-0813
REFERENCE #

02/06/2025
DATE

REVISIONS

DATE: 04/23/24

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PROJECT:

CHANGE OF USE:
UNION FARE
166 WEST CLAYTON STREET
ATHENS, GEORGIA 30601

DRAWING

A104

PAVED

R/W VARIES

WASHINGTON STREET

169 WEST WASHINGTON STREET

ELECTRICAL TRANSFORMER

ENTRY
PEDESTRIAN

FOOD ENTRY
TRUCK

SEE A106
FOR ELEVATION
OF FENCE AND
DETAILS

01-14-25
REMOVE FENCE

FOOD COURT
10,433 S.F.

ASPHALT PARKING

08/08/24
NEW SLOPE 1:20 TO NEW EXIT GATES

MORTON
THEATRE

BUILDING

TOTAL
15,943 S.F.
Open Area & Building

12-11-24
ADD OUTSIDE BAR

OUTSIDE
BAR
SEE A107

NEW CONC. SIDEWALK
8'-4" X 10'-4"
SEE A101

SURVEYED BY: TRADITIONS SURVEYING LLC
706-548-5673
140 MILL CENTER BLVD. ATHENS, GA 30606
AUGUST 10, 2023
LIC. NO: LSF001277

GRAYMAD LLC

(REF. 8 & 9)

[TAX PARCEL 171A5 A007]

OUTSIDE BAR
FOOD COURT
3/32" = 1'-0"



APPROVED PLANS

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and approved by the appropriate Athens-Clarke
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REFERENCE #

02/06/2025
DATE



REVISIONS	DATE
05/24/24	01/17/25
08/08/24	
09/02/24	
12/11/24	
01/10/25	
DATE:	04/23/24

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706-548-4229

CHANGE OF USE:

UNION FARE

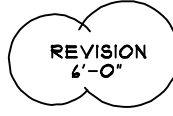
166 WEST CLAYTON STREET

ATHENS, GEORGIA 30601

PROJECT:

DRAWING

A105



STEEL DOOR SPECIFICATION

no scale

DOUBLE DOORS / SINGLES



SINGLE DOOR
no scale
OUTSIDE BAR




DOUBLE DOOR
no scale
DOUBLE DOOR
BRICK BUILDING




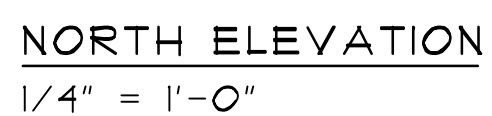
WINDOW FRAME AND STILES - PINE WOOD
WINDOW GLAZING - TEMPERED GLASS



WALL TYPES:

INTERIOR  2 X 4 STUDS, 16" O.C.
W/ 5/8" GYP. BD.
EACH SIDE

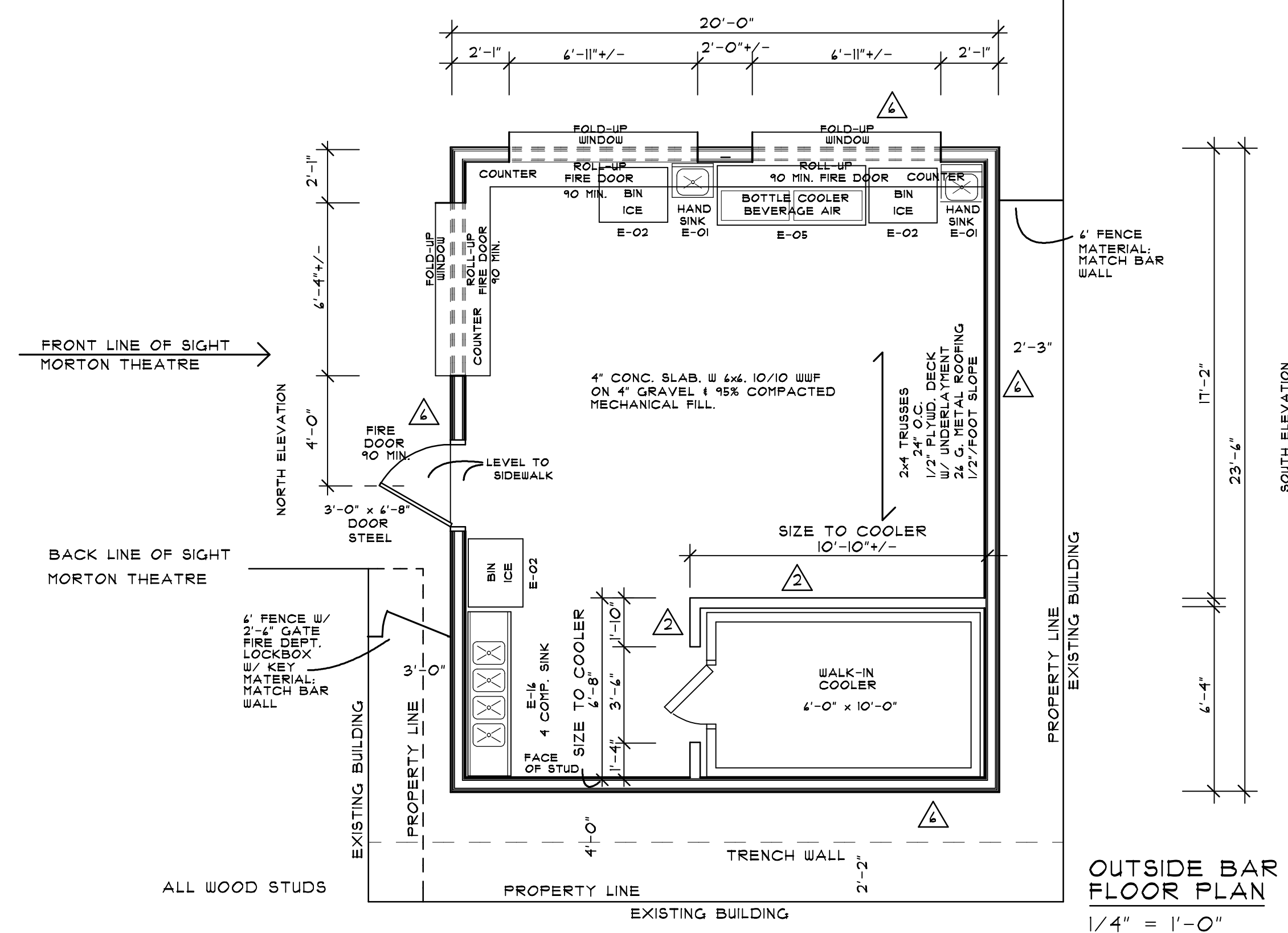
EXTERIOR  2 X 4 STUDS, 16" O.C.
W/ 2 LAYERS 5/8" GYP. BD.
TYPE 'X', EACH SIDE
CEMENT FIBER PLANKS
OUTSIDE, HARDIE CEMENT FIBER
BOARD & BATTEN
2 HOUR - UL 301



ROOF ASSEMBLY:
WOOD TRUSSES 24" O.C.
5/8" PLYWOOD DECK, EXT
A, B, OR C COVERING
1" STL. CHANNEL, 14" O.C.
ON BOTTOM CORDS
W/ 5/8" GYP. BD.
TYPE 'X'

UL DESIGN P-522
1 HOUR

BUILDING CONSTRUCTION TYPE: III-A LSC
III-A IBC



OUTSIDE BAR
FLOOR PLAN
1/4" = 1'-0"

CHANGE OF USE:
UNION FARE
166 WEST CLAYTON STREET
ATHENS, GEORGIA 30601

DRAWING

A|O T

	<u>APPROVED PLANS</u>
	Any changes to this set of plans must be reviewed and approved by the appropriate Athens-Clarke County Departments.
PR-2024-04-0813	02/06/2025
<u>REFERENCE #</u>	<u>DATE</u>

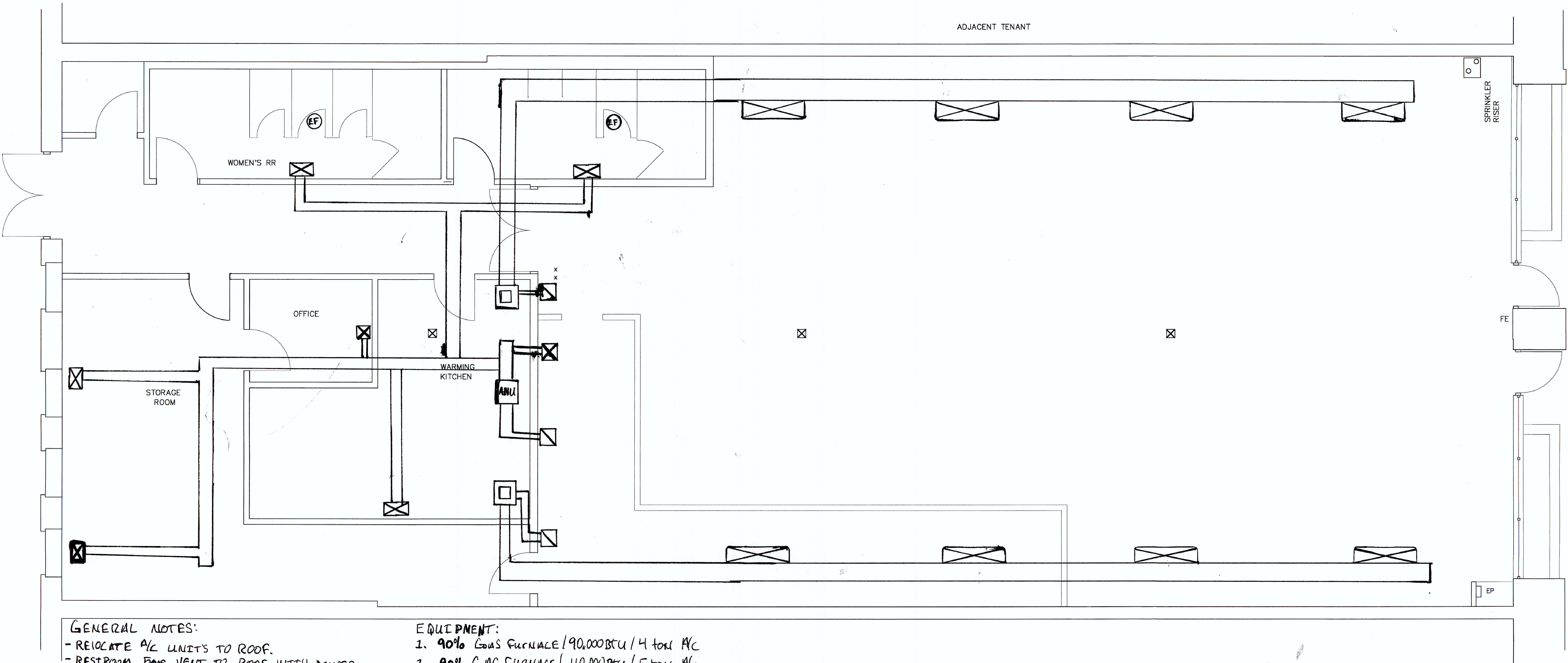
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706-548-4229			
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		REVISIONS	
		01/08/25	
		12/11/24	
		01/10/25	
		01/17/25	
		DATE:	01/10/25

ALL CODE REQUIREMENTS, ORDINANCES, AND REGULATIONS
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DEATON MECHANICAL LLC.
DANIEL DEATON/7062480336
GA LIC # CR109674
Dan Deaton

CHANGE OF USE:
UNION FARE
166 WEST CLAYTON STREET
ATHENS, GEORGIA 30601

APPROVED PLANS
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and approved by the appropriate Athens-Clarke
County Departments.
PR-2024-04-081302/06/2025
REFERENCE #DATE



- GENERAL NOTES:
- RELOCATE A/C UNITS TO ROOF.
 - RESTROOM FANS VENT TO ROOF WITH DAMPER.
 - 90% FURNACE VENTS TO ROOF.
 - FRESH AIR FROM BACK OF BUILDING
 - RELOCATE 2 GAS FURNACES TO MEZZANINE.

- EQUIPMENT:
1. 90% GAS FURNACE / 90,000 BTU / 4 TON A/C
 2. 90% GAS FURNACE / 110,000 BTU / 5 TON A/C
 3. 5 TON AHU / 5 TON A/C

FLOOR PLAN
1/4" = 1'-0"

Drain and vent rest room Diagram

Water Digram typical for lavatory

FIXTURE SCHEDULE

CHANGE OF USE:
UNION FARE
166 WEST CLAYTON STREET
ATHENS, GEORGIA 30601

Water closet tank type 1.28 gpf
Lavatory 1.5 gpm oval drop in
urinal.5 gpf
Navien tankless water heater 199 btu
Rheem 40 gallon electric 240v
Floor clean out brass top
Floor sink 3 inch waste outlet
Floor drain brass top
Grease trap 40 lb 20 gpm

- 1 CONNECT 4 INCH DRAIN TO EXISTING
- 2 CONNECT 3 INCH VENT TO EXISTING
- 3 2 NAVIEN GAS TANKLESS WATER HEATERS SUPPLIED TO THE WARMING KITCHEN TO BE INSTALLED
- 4 2 PSI GAS METER TO BE INSTALLED CORDINATE WITH GAS COMPANY
- 5 Connect to existing gas
- 6 Grease trap to be installed in line with the 3 compartment sinks
- 7 Connect 1 inch water line to existing back flow

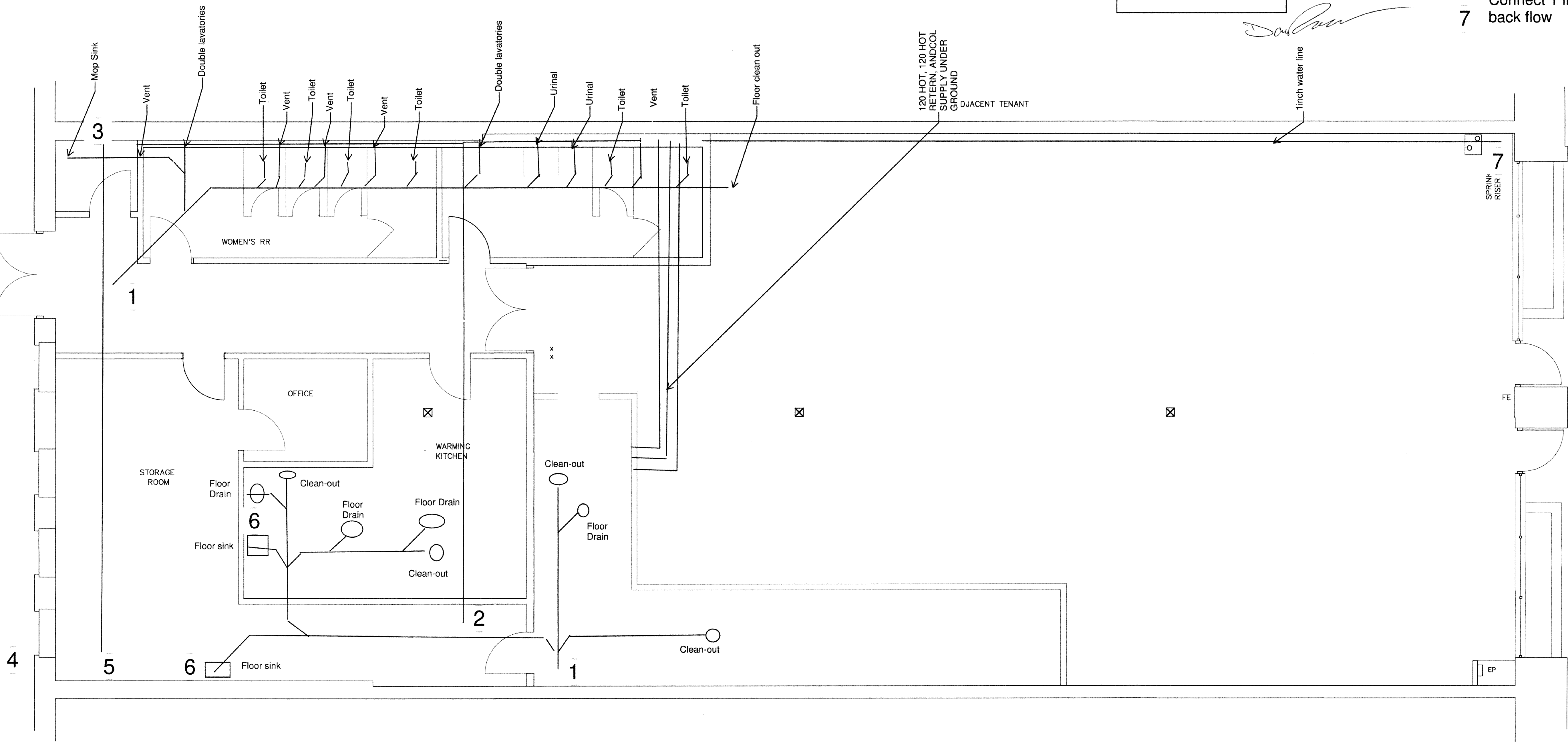
Dana Roseman
mp-210909

Dana Roseman

APPROVED PLANS

Any changes to this set of plans must be reviewed and approved by the appropriate Athens-Clarke County Departments.

PR-2024-04-0813 02/06/2025
REFERENCE # DATE



LEGEND

- -1/2" REINFORCING ROD SET
◦ -1/2" REINFORCING ROD FOUND (OR AS NOTED)
⊠ -CONCRETE
□ -CONCRETE RIGHT OF WAY POST FOUND
⊙ -POINT ONLY
— -POWER(PP), TELEPHONE(TP)
— -LAMP POST
PM -PARKING METER
ACP -AIR CONDITIONING PAD
— -GAS METER

THIS BLOCK IS RESERVED FOR THE CLERK
OF THE SUPERIOR COURT

NOTES

- (1) OWNER: JASON DUNN, (404) 271-8150
(2) 166 WEST CLAYTON STREET, ATHENS, GA 30601
(3) USE: COMMERCIAL
(4) WATER SUPPLY: ATHENS-CLARKE COUNTY WATER IS AVAILABLE.
(5) SANITARY SEWER DISPOSAL: ATHENS-CLARKE COUNTY SANITARY SEWER IS AVAILABLE.
(6) TO THE KNOWLEDGE OF THIS FIRM, NO EXISTING OR ABANDONED LANDFILLS ARE LOCATED ON THIS PROPERTY.
(7) THIS PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA ACCORDING TO FIRM PANEL NO. 13058-0025F DATED SEPTEMBER 15, 2022.
(8) SETBACKS: NONE
(9) MAXIMUM BUILDING HEIGHT: 100'
(10) MAXIMUM LOT COVERAGE: 100% EXCEPT AGRICULTURAL BUILDINGS.
(11) COMBINATION OF THIS PROPERTY AS SHOWN HEREON WILL MEET ALL ATHENS-CLARKE COUNTY ZONING REQUIREMENTS AS TO LOT SIZE, SETBACKS AND MINIMUM FRONTAGE.
(12) THERE IS NO LANDSCAPE MANAGEMENT PLANING PLANNED.
(13) MINIMUM BUILDING SETBACK LINES SHOWN ARE THOSE REQUIRED BY ZONING AND MAY NOT BE IN CONFORMITY WITH THOSE REQUIRED BY SUBDIVISION COVENANTS, WHICH MAY BE GREATER.
(14) NO PUBLIC OR PRIVATE THROUGHFARES OR WALKS ARE LOCATED ON THIS PROPERTY.
(15) EXCEPT AS SHOWN, THERE ARE NO ENVIRONMENTAL AREAS LOCATED ON THIS PROPERTY.
(16) THERE ARE DESIGNATED OFF-STREET PARKING AREAS LOCATED ON THIS PROPERTY.
(17) THERE IS NO PHYSICAL EVIDENCE OF EASEMENTS FOR WATER LINES, FIRE HYDRANTS, SEWER OR STORM SEWER LINES, OR TRAILS EXCEPT AS SHOWN. THERE IS ALSO NO EVIDENCE OF UNDERGROUND ELECTRICAL, CABLE, TELEPHONE, OR CABLE LINES EXCEPT AS SHOWN.
(18) THERE ARE NO TREES LOCATED IN THE ADJACENT RIGHT OF WAY. ATHENS-CLARKE COUNTY TREES CANNOT BE DISTURBED OR REMOVED WITHOUT THE APPROVAL OF THE ATHENS-CLARKE COUNTY LANDSCAPE MANAGEMENT DIVISION.
(19) COORDINATES ARE BASED ON AN ASSUMED DATUM.
(20) TAX PARCELS 171A5 A003 AND 171A5 A009 ARE BEING COMBINED TO FORM ONE TRACT.
(21)

SURVEY FOR:

JASON DUNN

169 WEST WASHINGTON STREET & 166 WEST CLAYTON STREET
ATHENS

COUNTY:	CLARKE	G.M.D.:	216	STATE:	GEORGIA
DATE:	AUGUST 10, 2023	SCALE:	1"=20'	DWN. BY:	JESSI
FIELDBOOK:	1045	SURVEYED BY: TRADITIONS SURVEYING LLC 706-548-5673 140 MILL CENTER BLVD., ATHENS, GA 30606 LAND SURVEYOR FIRM LICENSE NO. LSP001277	FILE NO.: 38861-		

STORMWATER NOTES

- (1) NO LAND DEVELOPMENT ACTIVITIES ARE PROPOSED AS A PART OF THIS PLAT; THEREFORE STORMWATER MANAGEMENT IS NOT APPLICABLE IN ACCORDANCE WITH ACC CODE SECTION 5-4-3(a).
(2) ANY FUTURE LAND DEVELOPMENT ACTIVITIES ON THIS PROPERTY WILL REQUIRE A STORMWATER MANAGEMENT PLAN.

STATEMENT OF THE OWNER:

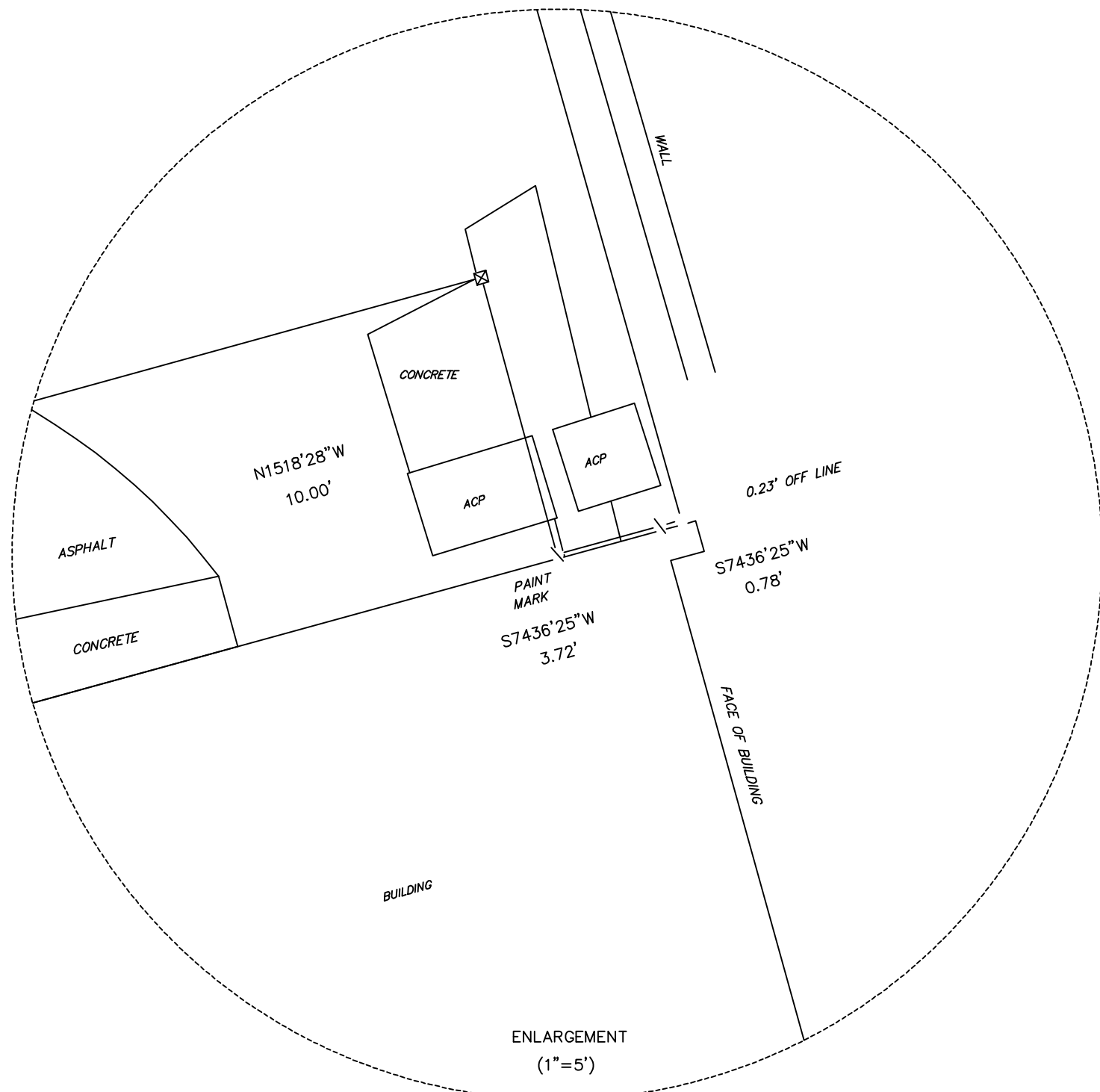
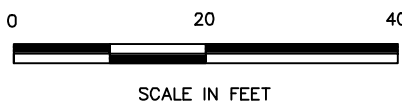
- (1) There are no owner-imposed or deed restrictions unless otherwise noted.
(2) There are no new underground utilities proposed at this time unless otherwise noted.
I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent, having established the minimum building restriction lines, dedicate all rights-of-way, water and sewer easements, drainage easements, alleys, walks, parks and other open spaces to public or private use as noted, and agree to provide either directly or indirectly for the maintenance of all common areas and outside. I (we) further acknowledge that possession of the right-of-way remains solely with the subdivider until such time as all bonds are released by Athens-Clarke County.

SUBDIVIDER

OWNER

AS REQUIRED BY SUBSECTION (a) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONTINUED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

DAVID CAMP
GA PLS #338



APPROVED PLANS

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and approved by the appropriate Athens-Clarke
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PR-2024-04-0813

REFERENCE #

02/06/2025

DATE

I hereby certify that all required improvements necessary to provide water and/or sanitary sewer service from the Athens-Clarke County water distribution and/or sanitary sewer collection system(s), as noted, have been satisfactorily installed and have been accepted by Athens-Clarke County for ownership, operation, and maintenance, or improvement guarantees in an amount sufficient to secure the satisfactory installation and dedication of the necessary improvements have been provided.

Public Utilities Director

Date

I hereby certify that all required improvements necessary to provide all streets and other required public improvements in accordance with plans submitted to Athens-Clarke County by the subdivider's professional representatives have been satisfactorily completed or have been adequately guaranteed in an amount sufficient to secure satisfactory installation. All drainage and access easements shown are the maintenance responsibility of the property owner per ACC policy.

Public Works Director

Date

This plot has been approved in accordance with the Athens-Clarke County Subdivision Regulations.

DATED THIS _____ DAY OF _____, 20_____.

Director, Department of Planning

REFERENCES

- DEED BOOK 5397, PAGE 210
(1) DANNER & HUDSON SURVEY OF MR. E.C. JACKSON PROPERTY, DATED MARCH 1950.
(2) PLAT BOOK G, PAGE 141B
(3) DANNER & HUDSON SURVEY OF GEO. E. SCOTT PROPERTY, DATED AUGUST 1954
(4) DEED BOOK 4010, PAGE 66
(5) PLAT BOOK 4, PAGE 161
(6) DEED BOOK 5448, PAGE 41
(7) DEED BOOK 5448, PAGE 16
(8) SURVEY BY BEN McLEROY FOR GRAYMAD, LLC, DATED APRIL 9, 2018
(9) SURVEY BY BE McLEROY FOR CLARKE COUNTY, DATED APRIL 23, 1991
(10) SURVEY BY BEN McLEROY FOR CLARKE COUNTY, DATED NOVEMBER 1, 1990
(11)

SURVEY NOTES

- EQUIPMENT USED: 02" THEODOLITE AND E.D.M.
(1) ANGULAR ERROR: 02" PER STATION ADJUSTED
(2) LINEAR CLOSURE: 1/15,000+; BALANCED ARBITRARILY
(3) MINIMUM PLAT CLOSURE: 1/159,728
(4)

SURVEY FOR:

JASON DUNN

169 WEST WASHINGTON STREET & 166 WEST CLAYTON STREET
ATHENS

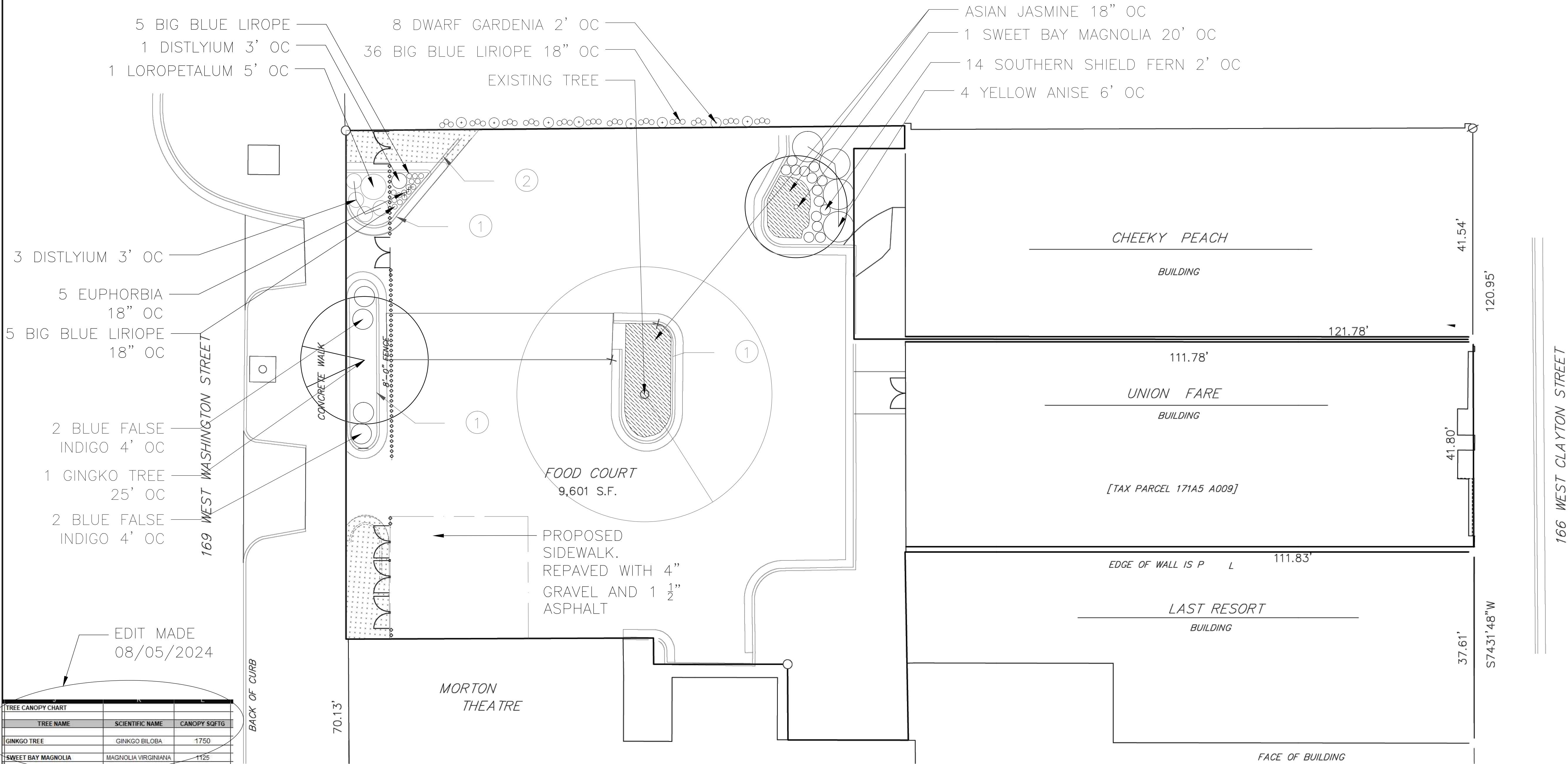
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CHANGE OF USE:
UNION FARE
166 WEST CLAYTON STREET
ATHENS, GEORGIA 30601

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TREE CANOPY CHART		
TREE NAME	SCIENTIFIC NAME	CANOPY SQFTG
GINKGO TREE	GINKGO BILOBA	1750
SWEET BAY MAGNOLIA	MAGNOLIA VIRGINIANA	1125

PLANTING SCHEDULE				
QUANTITY	BOTANICAL NAME	CONTAINER	HEIGHT	SPACING
LARGER SHRUBS / SMALL TREES				
1	GINKGO BILOBA	7 gal	50-80"	20-40"
1	MAGNOLIA VIRGINIANA	7 gal	35-50"	20-30"
SHRUBS				
8	GRADENIA JASMINOIDES 'RADICANS'	3 gal	2-3'	2-4'
4	BAPTISIA AUSTRALIS	3 gal	3-5'	3-4'
4	DISTYLUM 'VINTAGE JADE'	3 gal	2-4'	3-4'
14	THELYPTERIS KUNTHII	2.5 qt	2-3'	2-3'
1	LOROPETALUM CHINENSE 'PURPLE MAJESTY'	1 gal	6-10'	5-8'
4	ILICUM PARVIFLORUM	3 gal	6-10'	5-6'
GROUNDCOVER				
54	TRACHELOSPERUM ASIATICUM	1 gal	12-18"	10-12"
46	LIRIOPE MUSCARI	1 gal	12-18"	1-2'
5	EUPHORBIA HYPERICIFOLIA 'DIAMOND FROST'	1.5 pt	6-12"	12-24"

LEGEND WITH NOTES

EXISTING CURB AREAS TO BE REMOVED – AREA TO BE LEVEL WITH HEIGHT OF EXISTING SIDEWALK – WILL BE REPLACED WITH 4–6" ASPHALT

EXISTING DIRT AND GRAVEL IN PLANTER AREAS TO BE REPLACED WITH 6" TOPSOIL FOR NEW PLANTINGS

NOTE THAT ONLY PART OF SPECIFIED CURB IS TO BE REMOVED FOR EXIT PATH AS SHOWN

LANDSCAPE PLAN 1"=10'-0"
3/32" = 1'-0"



Pro Scapes Landscape Solutions LLC
NAME: Rick Cencula
LICENSE#: BT-0097060
DATE: 6/27/2024
PHONE: 706-705-0181
WEB SITE: www.proscapesllc.org

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