

### ABBREVIATIONS:

AB	ANCHOR BOLT	KO	KNOCK OUT
ADJ	ADJUSTABLE	KD	KNOCK DOWN
AFF	ABOVE FINISH FLOOR	L	LENGTH
ALT	ALTERNATE	LAD	LADDER
ALUM	ALUMINUM	LAM	LAMINATE
ANOD	ANODIZED	LAV	LAVATORY
APPROX	APPROXIMATE	LB	POUND
ARCH	ARCHITECTURAL	LVL	LEVEL
ASP	ASPHALT	LVR	LOUVER
AUTO	AUTOMATIC	LW	LIGHTWEIGHT
BD	BOARD	MACH	MACHINE
BIT	BITUMINOUS	MAS	MASONRY
BLDG	BUILDING	MAT	MATERIAL
BLK	BLOCK	MAX	MAXIMUM
BLKG	BLOCKING	MB	MARKER BOARD
BT	BEAM	MCH	MASHER CONTROL JOINT
BOT	BOTTOM	MCH	MCHANICAL
BR	BRONZE	HEMB	MEMBRANE
BRDG	BRIDGING	MFR	MANUFACTURER
BRG	BEARING	MH	MANHOLE
BUR	BUILT-UP ROOF	MIN	MINIMUM
CAB	CABINET	MIR	MIRROR
CEM	CEMENT	MISC	MISCELLANEOUS
CHAM	CHAMFER	MO	MASONRY OPENING
CJ	CAVATION	MTD	MOUNTED
CLG	CONTROL JOINT	MUL	METAL
CLK	CAULKING	NIC	NOT IN CONTRACT
CL	CENTER LINE	NO	NUMBER
CMU	CONCRETE MASONRY UNIT	NOM	NOMINAL
COL	COLUMN	NTS	NOT TO SCALE
COMB	COMBINATION	OC	ON CENTER
CONC	CONCRETE	OD	OUTSIDE DIAMETER
CONST	CONSTRUCTION	OPS	OUTSIDE FACE OF STUD
CONT	CONTINUOUS	OH	OVER HEAD
CONTR	CONTRACTOR	OPNG	OPENING
COR	CORRIDOR	OPP	OPPOSITE
CT	CERAMIC TILE	OZ	OUNCE
CTR	CENTER	QT	QUARRY TILE
DA	DOUBLE ACTING	PERF	PERFORATED
DBL	DOOR	PLAM	PROPERTY LINE
DCJ	DOOR/ALL CONTROL JOINT	PLAS	PLASTIC LAMINATE
DEPT	DEPARTMENT	PLD	PLASTIC
DF	DRINKING FOUNTAIN	PR	PAIR
DIA	DIA	PROF	PROPERTY
DIAG	DIAGONAL	PSF	POUNDS PER SQUARE FOOT
DIFF	DIFFUSER	PSI	POUNDS PER SQUARE INCH
DIM	DIENSION	PT	PRESSURE TREATED
DISP	DISPENSER	PTD	PAPER TOWEL DISPENSER
DIV	DIVIDER/DIVISION	PTN	PARTITION
DN	DOWN	PVMT	PAVEMENT
DS	DOWN SPOUT		
EA	EA		
EJ	EXPANSION JOINT		
EL	ELEVATION	R	RISER
ELEC	ELECTRICAL	RAD	RADIUS
ELEV	ELEVATOR	RD	ROOF DRAIN
EMER	EMERGENCY	REF	REGULATOR
ENCL	ENCLOSURE	REG	REGULATOR
EP	ELECTRIC PANEL	REFIN	REINFORCED
EQ	EQUAL	REQD	REQUIRED
EQPT	EQUIPMENT	REV	REVISION
ES	EACH SIDE	RF	ROOFING
EW	EACH WAY	RM	ROOM
EXIST	EXISTING	RO	ROUGH OPENING
EXP	EXPANSION	ROW	RIGHT OF WAY
EXT	EXTERIOR	SC	SOLID CORE
FA	FIRE ALARM	SD	SOAP DISPENSER
FD	FLOOR DRAIN	SEC	SECTION
FE	FIRE EXTINGUISHER	SF	SQUARE FOOT
FEB	FIRE EXT. ON BRACKET	SH	SHELF
FEC	FIRE EXT. CABINET	SHT	SHEET
FIN	FINISH	SIM	SIMILAR
FF	FL. FLOOR	SND	SANITARY NAPKIN DISPENSER
FUR	FLASHING	SPC	SANITARY NAPKIN RECEPTICLE
FLASH	FLUORESCENT	SQ	SPECIFICATION
FLUOR	FLUORESCENT	SS	SQUARE
FOC	FACE OF CONCRETE	STD	STAINLESS STEEL
FW	FACE OF WALL	STL	STANDARD
FT	FOOT/FEET	STOR	STORAGE
FTG	FOOTING	STR	STRUCTURAL
FURR	FURRING	SUSP	SUSPENSION/SUSPENDED
GA	GAUGE	SYN	SYNTHETIC
GALV	GALVANIZED	SYS	SYSTEM
GB	GRAB BAR	T	TREAD
GEN	GENERAL	T/B	TOP AND BOTTOM
GL	GLASS	TOC	TOP OF CURB
GND	GROUND	TELE	TELEPHONE
GR	GRADE	TIQ	TONGUE AND GROOVE
GYPS BD	GYPSUM WALL BOARD	THK	THICK
H	HIGH	THD	THRESHOLD
HB	HOSE BIB	TOP	TOP OF PAVEMENT
HC	HOLLOW CORE	TIS	TUBULAR STEEL
HDW	HARDWARE	TOS	TOP OF STEEL
HDWD	HARDWOOD	TOW	TOP OF WALL
HM	HOLLOW METAL	TYP	TYPICAL
HORIZ	HORIZONTAL	US	UNDERWRITERS LABORATORIES
HT	HT	UNF	UNFINISHED
ID	INSIDE DIAMETER	UNO	UNLESS OTHERWISE NOTED
INFO	INFORMATION	V	VINYL
INSUL	INSULATION	VCT	VINYL COMPOSITION TILE
INT	INTERIOR	VERT	VERTICAL
INV	INVERT	VEST	VESTIBULE
JAN	JANITOR	VUC	VINYL WALL COVERING
JT	JOINT	W/	WATER CLOSET
JST	JOIST	WD	WOOD
JV	JOB VERIFY	WH	WATER HEATER
WT	WT	W/O	WITH OUT
WMM	WMM	WP	WATERPROOF
WT	WT	WT	WEIGHT
WWM	WWM	WWM	WELDED WIRE MESH

ACCESSORIES MT. HT. FROM FLOOR

(A) TOILET PAPER DISP. 19" TO CENTER  
(B) TOWEL DISPENSER 40" TO BOTTOM  
(C) MIRROR MAX. 40"  
(D) GRAB BAR - 42" 34" TO TOP  
(E) GRAB BAR - 34" 34" TO TOP  
(F) TOILET SEAT 17" TO 19" TO TOP  
(G) SINK 34" MAX. TO TOP 11" TO BOTTOM 11" MIN. DEPTH

HANDICAPPED REST ROOM  
NO SCALE

### INDEX OF DRAWINGS

#### ARCHITECTURAL

AOI	TITLE SHEET, PROJECT NOTES, INDEX OF DRAWINGS, LOCATION MAP, PROPERTY/BUILDING OUTLINE
A100	EXISTING FLOOR PLAN W/ DEMO/RELOCATE LEGEND
A101	FLOOR PLAN, ROOM FINISH SCHEDULE, DOOR & FRAME SCHEDULE
A102	EQUIPMENT LAYOUT PLAN, EQUIPMENT SCHEDULE, OUTSIDE BAR PLAN
A103	REFLECTED CEILING PLAN, ELEC/HVAC LEGEND
A104	BUILDING LIFE SAFETY PLAN
A105	FOOD COURT LIFE SAFETY PLAN
A106	FENCE ELEVATION, DETAILS
A107	OUTSIDE BAR, FLOOR PLAN, ELEVATIONS
BY OTHERS	
M-1	MECHANICAL
E-1	ELECTRICAL
P-1	PLUMBING
C-1	PARCEL SURVEY
L-1	LANDSCAPE PLAN

### PROJECT NOTES:

166 WEST CLAYTON STREET WILL BE AN EVENTS SPACES. THE PARKING LOT ADJOINING THE BUILDING WILL BECOME A FOOD COURT.

#### CODE INFORMATION

IBC	2018	MAIN BUILDING, 12-II-24
CONSTRUCTION TYPE	- III-B	CMP
SPRINKLED, UNPROTECTED		
OCCUPANCY	- A-2 (NIGHTCLUB)	
CONSTRUCTION TYPE	- III-A	OUTSIDE BAR, 12-II-24
SPRINKLED, UNPROTECTED		CMP
LIFE SAFETY CODE 2018		
CONSTRUCTION TYPE	- III (200)	MAIN BUILDING, 12-II-24
SPRINKLED, UNPROTECTED		CMP
CONSTRUCTION TYPE	- III (211)	OUTSIDE BAR, 12-II-24
SPRINKLED, UNPROTECTED		CMP
OCCUPANCY	- ASSEMBLY	
ZONING: CD	ACRES: 0.366	
TAX #	- 111A5 A009	

APPROXIMATE SQUARE FOOTAGE  
MAIN FLOOR 4,218

OCCUPANT LOAD -  
EVENTS SPACE 3,355 / T = 334  
OTHER SPACES 1,252 / 300 = 5

### CHANGE OF USE:

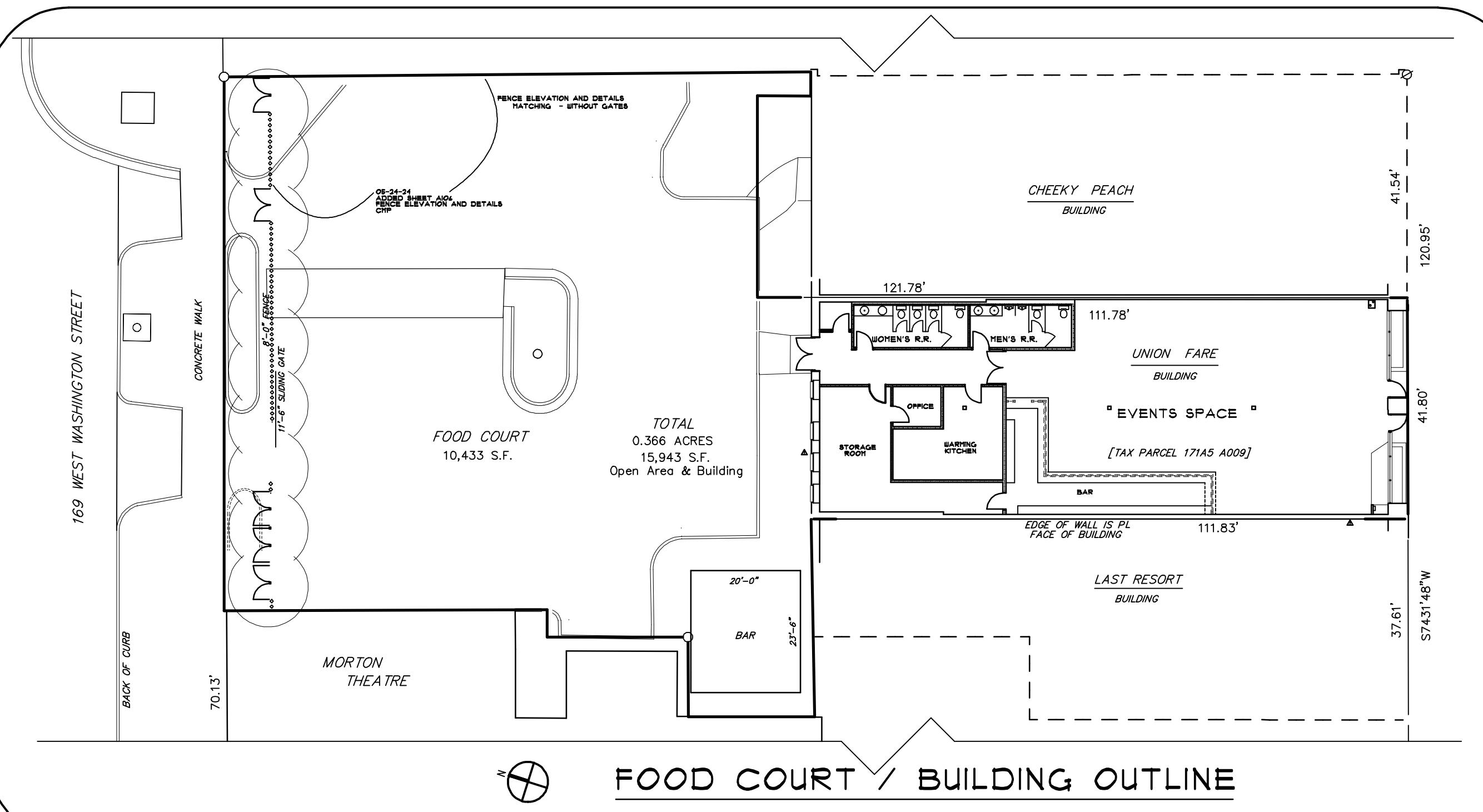
### UNION FARE

166 WEST CLAYTON STREET  
ATHENS, GA 30601

#### APPROVED PLANS

Any changes to this set of plans must be reviewed and approved by the appropriate Athens-Clarke County Departments.

PR-2024-04-0813 02/06/2025  
REFERENCE # DATE



PROJECT:	CHANGE OF USE: UNION FARE
DRAWING:	LOCATION NO SCALE
166 WEST CLAYTON STREET ATHENS, GA 30601	

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01/01/24  
12-II-24  
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CHARLES M. PORTER  
CERTIFICATE NO. 2024-04-0813  
EX-178-ED-AK-2024-04-0813

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ATHENS, GEORGIA 30601

**PROJECT:** CHANGE OF USE:  
UNION FARE  
166 WEST CLAYTON STREET  
ATHENS, GEORGIA 30601

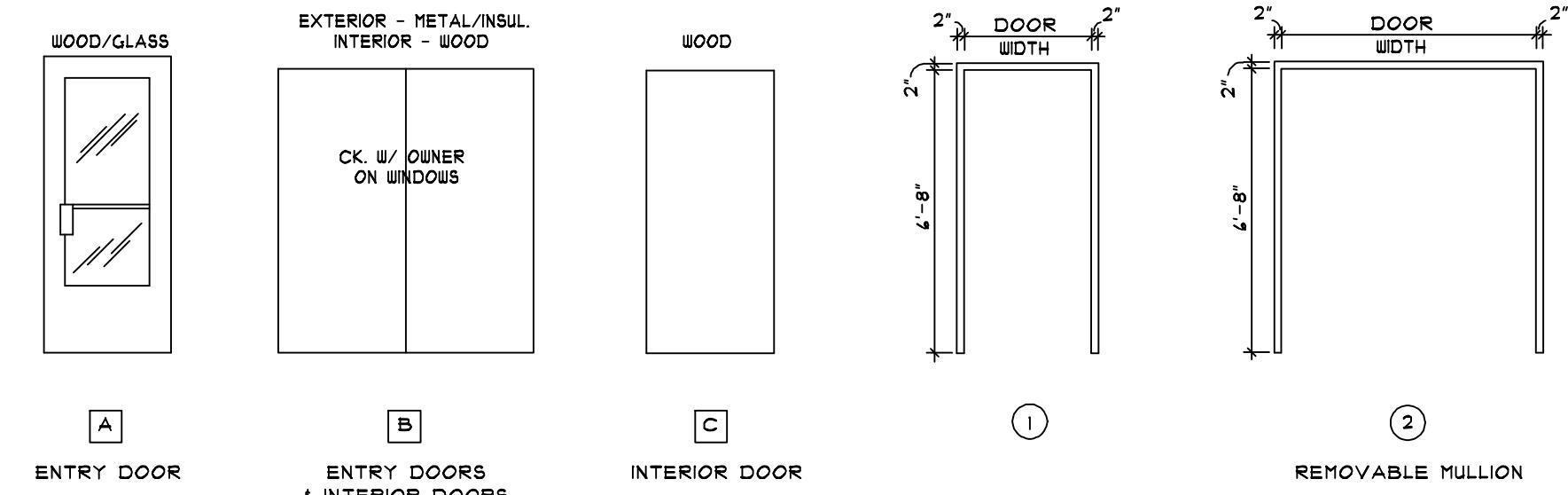
**DRAWING:** A100

**EXISTING FLOOR PLAN & DEMOLITION FLOOR PLAN**  
1/4" = 1'-0"

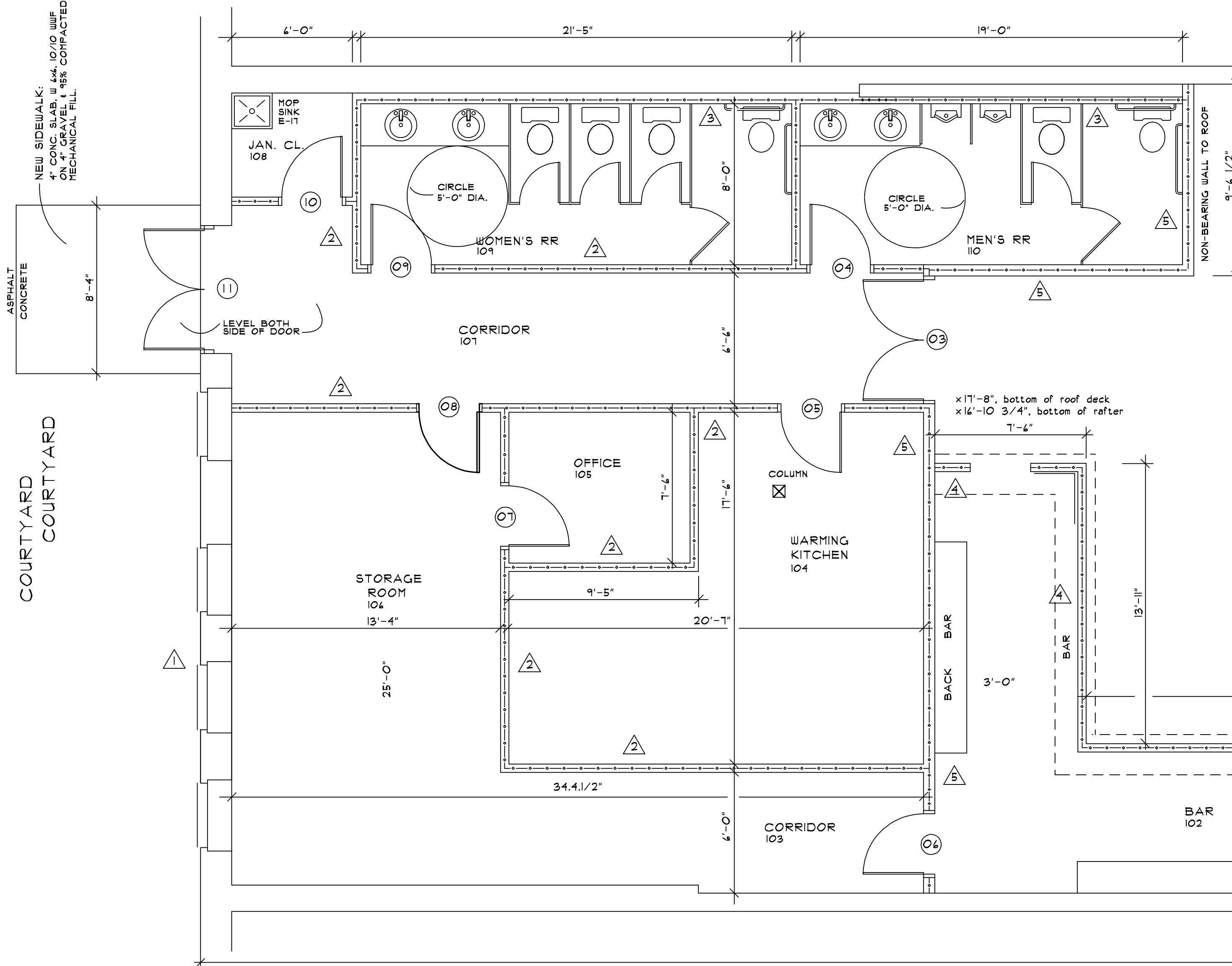
**RELOCATE HVAC**  
**RELOCATE WH**  
**RELOCATE PLUMBING**  
**REMOVE PLUMBING**  
**REMOVE WALLS**  
**REMOVE DOORS, FRAMES**  
**REMOVAL LEGEND**

### DOOR & FRAME SCHEDULE

NO.	DOOR			FRAME		LABEL	GLASS TYPE	HARDWARE GROUP	REMARK
	TYPE	MAT'L	WIDTH	HGT.	THK.				
O1	A	WD. GLASS	3'-0"	6'-8"	1 3/4"	-	WD.	-	TEMP. I W/ CLOSURE
O2	A	WD. GLASS	3'-0"	6'-8"	1 3/4"	-	WD.	-	TEMP. I W/ CLOSURE
O3	B	SCWD	6'-0"	6'-8"	1 3/4"	2	HM.	-	2 W/ CLOSURES
O4	C	SCWD	2'-6"	6'-8"	1 3/4"	1	HM.	-	4 W/ CLOSURE
O5	C	SCWD	3'-0"	6'-8"	1 3/4"	1	HM.	-	3
O6	C	SCWD	2'-0"	6'-8"	1 3/4"	1	HM.	-	3
O7	B	SCWD	2'-6"	6'-8"	1 3/4"	1	HM.	-	3
O8	C	SCWD	2'-6"	6'-8"	1 3/4"	1	HM.	-	3
O9	C	SCWD	2'-6"	6'-8"	1 3/4"	1	HM.	-	4 W/ CLOSURE
O10	B	SCWD	6'-0"	6'-8"	1 3/4"	1	HM.	-	3
O11	B	HM	6'-0"	6'-8"	1 3/4"	2	HM	-	2 W/ CLOSURES, INSULATED



DOOR & FRAME ELEV.  
NO SCALE



VERIFY WITH OWNER LOCKSETS  
AND MASTER KEY

### HARDWARE SCHEDULE

DOOR TYPE A  
HAGAR HINGES  
MISC: SILENCERS, STOPS,  
EXTERIOR DOORS ADD;  
WEATHERSTRIPPING

GROUP 1 ENTRY (EXISTING)  
PANIC DEVICE  
CLOSURE  
WEATHERSTRIPPING

GROUP 2 ENTRY (EXIT)  
PANIC DEVICE EACH DOOR  
CLOSURE (PANIC DEVICE SIDE)  
WEATHERSTRIPPING

GROUP 3 OFFICE, STORAGE ROOM  
WARMING KITCHEN  
JANITOR'S CLOSET  
KEYED LOCKSET / HANDLE

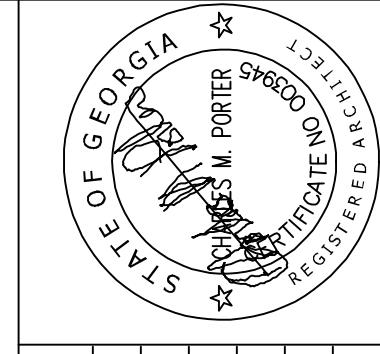
GROUP 4 HC RR  
PUSH PLATE  
PULL PLATE  
CLOSURE  
KICKPLATE

### FINISH SCHEDULE

NO.	ROOM NAME	FLOOR		WALL		CEILING		REMARKS
		FINISH	BASE	MATERIAL	FINISH	MATERIAL	HEIGHT	
101	EVENTS SPACE	EPOXY	4" VINYL	GYP. BD.	PAINT	WD.	-	17'-0" +/- OPEN CEILING
102	BAR	Q.T.	6" VINYL	GYP. BD.	PAINT	WD.	-	17'-0" +/- OPEN CEILING
103	CORRIDOR	Q.T.	4" VINYL	GYP. BD.	PAINT	ACT.	-	8'-10"
104	WARMING KITCHEN	Q.T.	6" VINYL	GYP. BD.	FRP	ACT.	-	8'-10"
105	OFFICE	Q.T.	4" VINYL	GYP. BD.	PAINT	ACT.	-	8'-10"
106	STORAGE ROOM	Q.T.	4" VINYL	GYP. BD.	PAINT	ACT.	-	8'-10"
107	CORRIDOR	Q.T.	4" VINYL	GYP. BD.	PAINT	ACT.	-	8'-10"
108	JANITOR'S CLOSET	Q.T.	6" VINYL	GYP. BD.	PAINT	ACT.	-	8'-10"
109	WOMENS RR	Q.T.	6" VINYL	GYP. BD.	PAINT	ACT.	-	8'-10"
110	MEN'S RR	Q.T.	6" VINYL	GYP. BD.	PAINT	ACT.	-	8'-10"
111	OUTSIDE BAR	Q.T.	6" VINYL	GYP. BD.	PAINT	ACT.	-	8'-10" INTERIOR GYP. BD. - EXT.

V.C.T. - VINYL COMPOSITION TILE  
Q.T. - QUARRY TILE

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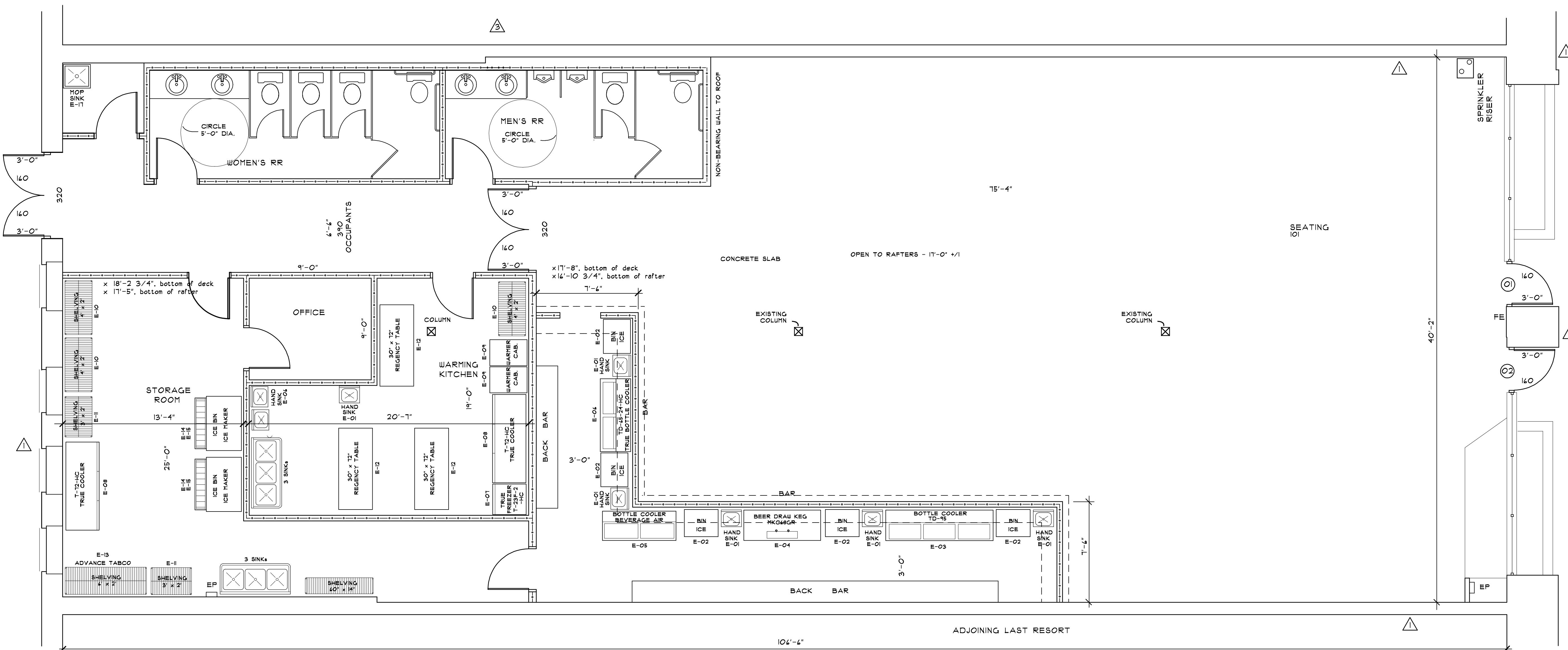
CHANGE OF USE:  
UNION FARE  
166 WEST CLAYTON STREET  
ATHENS, GEORGIA 30601

PROJECT: UNION FARE  
DRAWING: 166 WEST CLAYTON STREET

REVISIONS: 05/24/24  
DATE: 04/23/24

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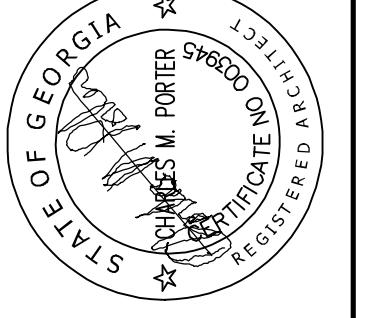
## COURTYARD



## EQUIPMENT SCHEDULE

LABEL	DESCRIPTION	MANUFACTURER	POWER		SIZE		REMARKS
			GAS (BTU)	ELEC. (AMP)	WIDTH	DEPTH	
E-01	HAND SINK	ADV. TABCO, 1-PS-47	-	-	17"	15"	5" DEEP
E-02	ICE BIN	ADV. TABCO, CRI-16-30	-	-	36"	24"	29"
E-03	BOTTLE COOLER	TRUE, TD-95-38-HC	-	3.1	95"	28"	33 1/2"
E-04	BEER DISPENSER	ATOSTA, MKC48GR	-	2.3	48"	28"	36"
E-05	BOTTLE COOLER	BEVERAGE AIR, DW64HC-5	-	5.2	72"	24 1/2"	35 1/2"
E-06	BOTTLE COOLER	TRUE, TD-95-38-HC	-	3.1	64 1/2"	27"	33 1/2"
E-07	FREEZER	TRUE, T-23F-2-HC	-	3.1	27"	29"	78 3/8"
E-08	REFRIGERATOR	TRUE, TT2-HC	-	6.9	78"	29 1/2"	78 3/8"
E-09	WARMING CABINET	MAIN, CHP-1836U	-	1440 W	23"	33 1/4"	66 1/2"
E-10	SHELVING	ADV. TABO, ECC-2448	-	-	48"	24"	74"
E-11	SHELVING	ADV. TABO, ECC-2434	-	-	36"	24"	74"
E-12	SS TABLE	REGENCY, 18 G., 304, W/ UNDER SHF.	-	-	72"	30"	34"
E-13	SHELVING	ADV. TABO, ECC-2412	-	-	72"	24"	74"
E-14	ICE BIN	HOSKIZAKI, B-1000-SS	-	-	48"	41"	60"
E-15	ICE MAKER	HOSKIZAKI, KM-1601SJA	-	15.9	48"	27 1/2"	27 3/8"
E-16	4 COMPARTMENT SINK	ADV. TABCO	-	-	72"	27 1/2"	37 1/2"
E-17	MOP SINK	REGENCY, 600SM16206	-	-	25"	21"	6"

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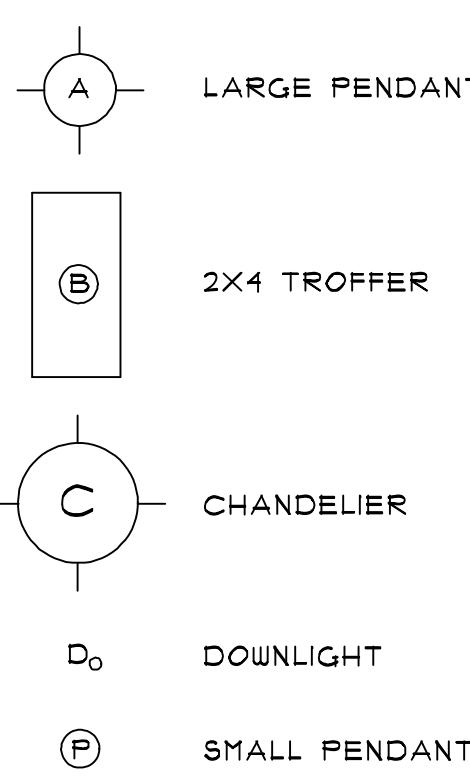
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UNION FARE  
166 WEST CLAYTON STREET  
ATHENS, GEORGIA 30601

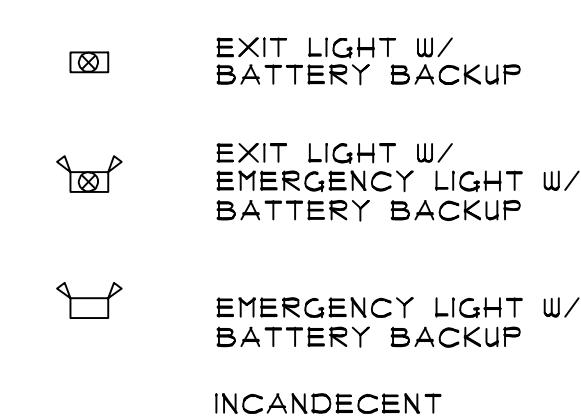
DRAWING  
A-02  
104-4"

### LEGEND

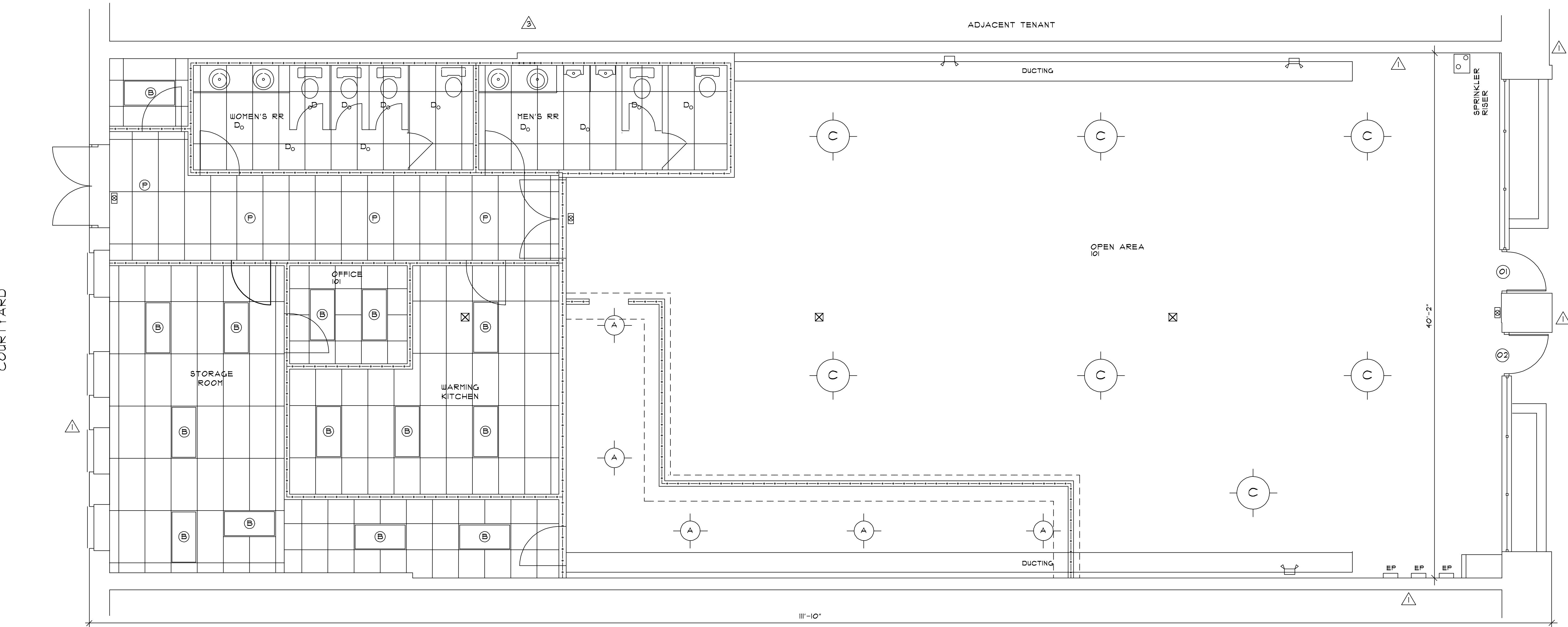
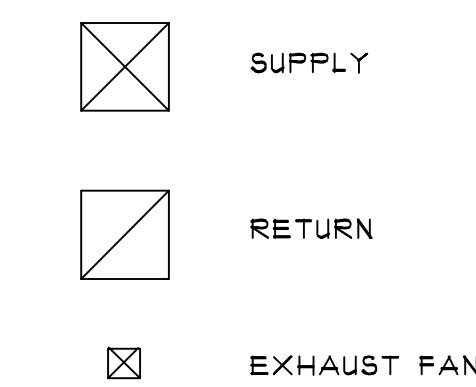
#### LIGHTING VERIFY W/ ELEC. PLAN



#### EXITS / LIGHTING VERIFY W/ ELEC. PLAN



#### MECHANICAL VERIFY W/ MECHANICAL PLAN



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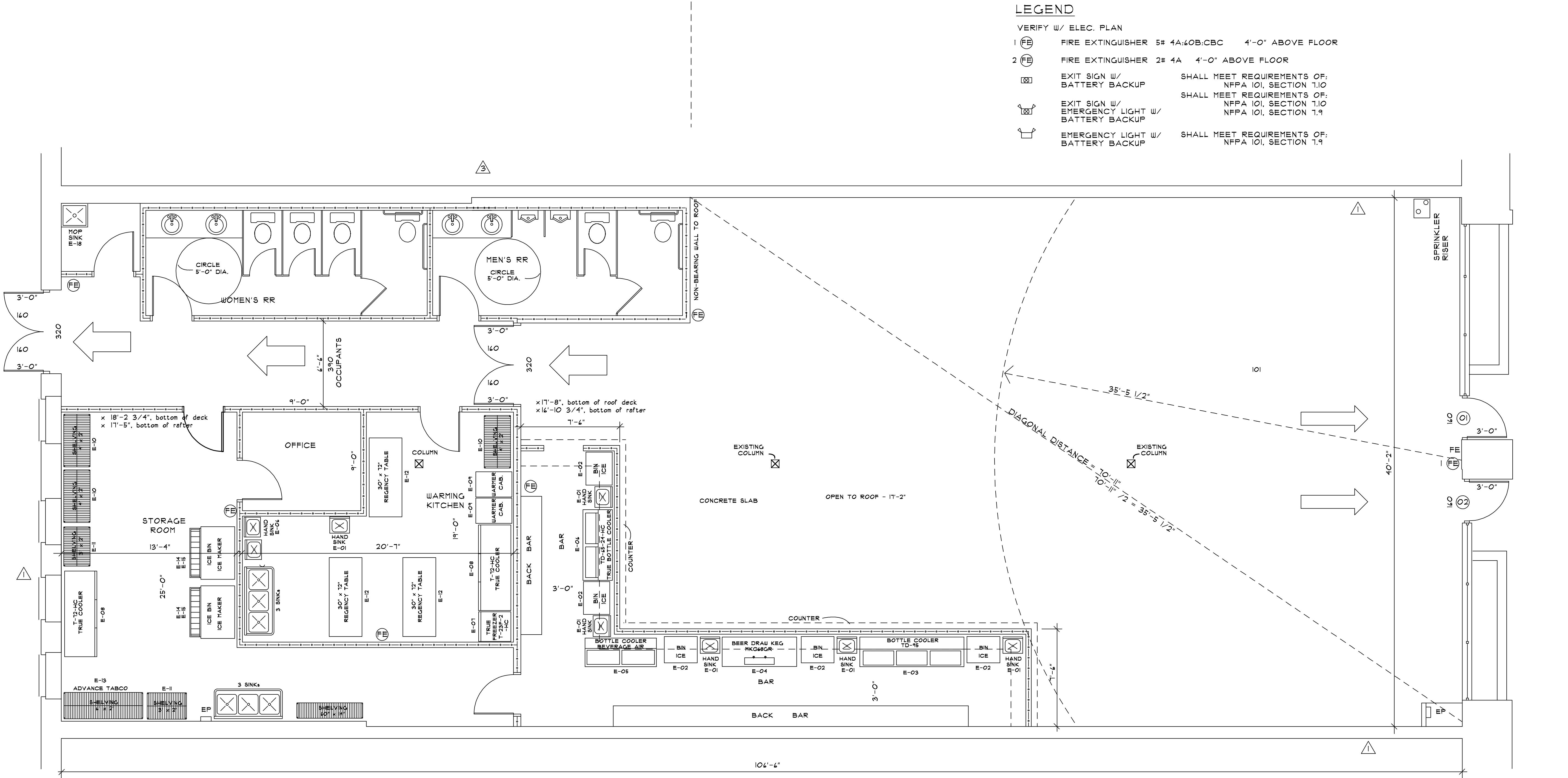
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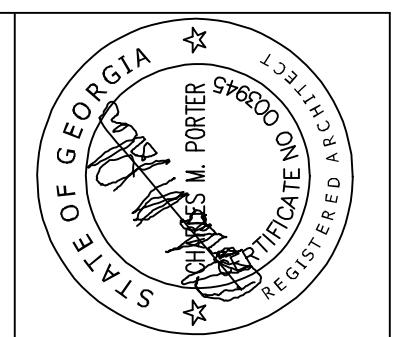
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UNION FARE  
166 WEST CLAYTON STREET  
ATHENS, GEORGIA 30601  
DRAWING  
A-103

## COURTYARD



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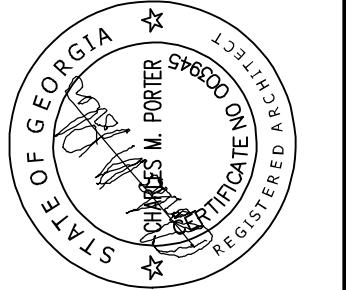
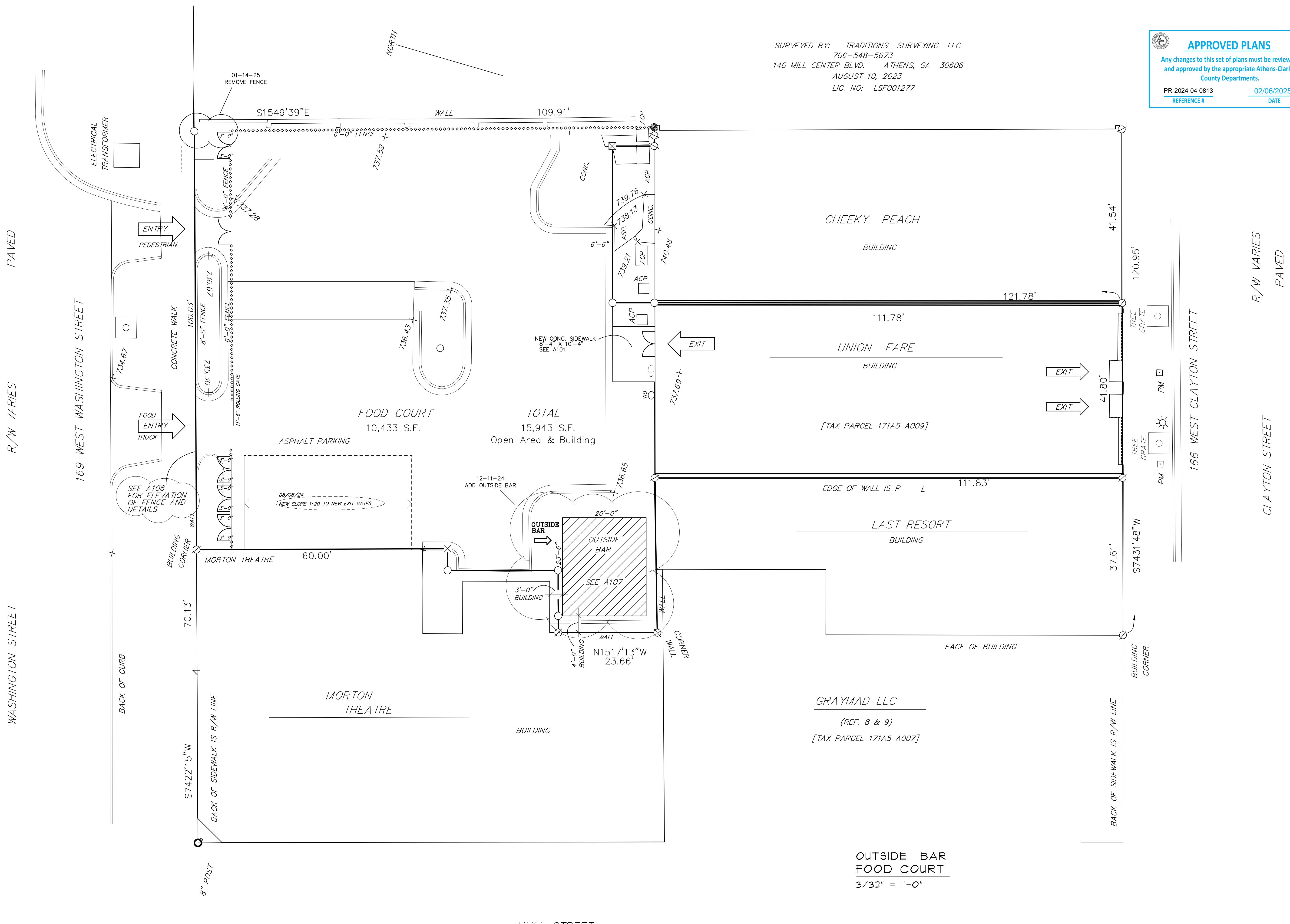


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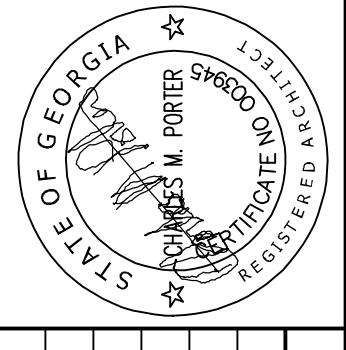
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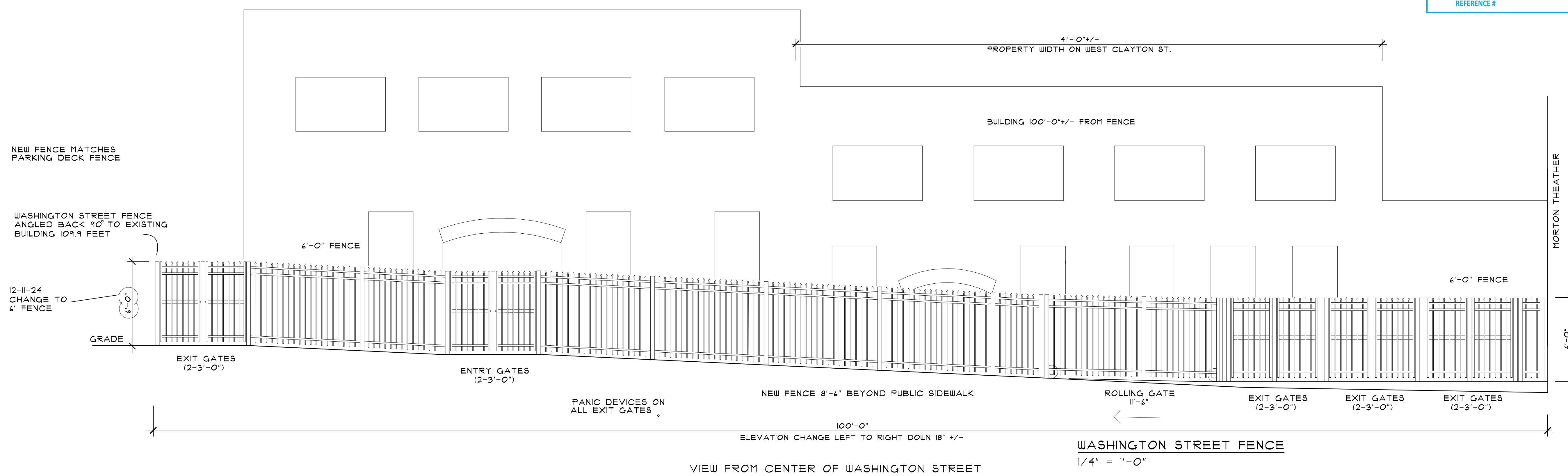
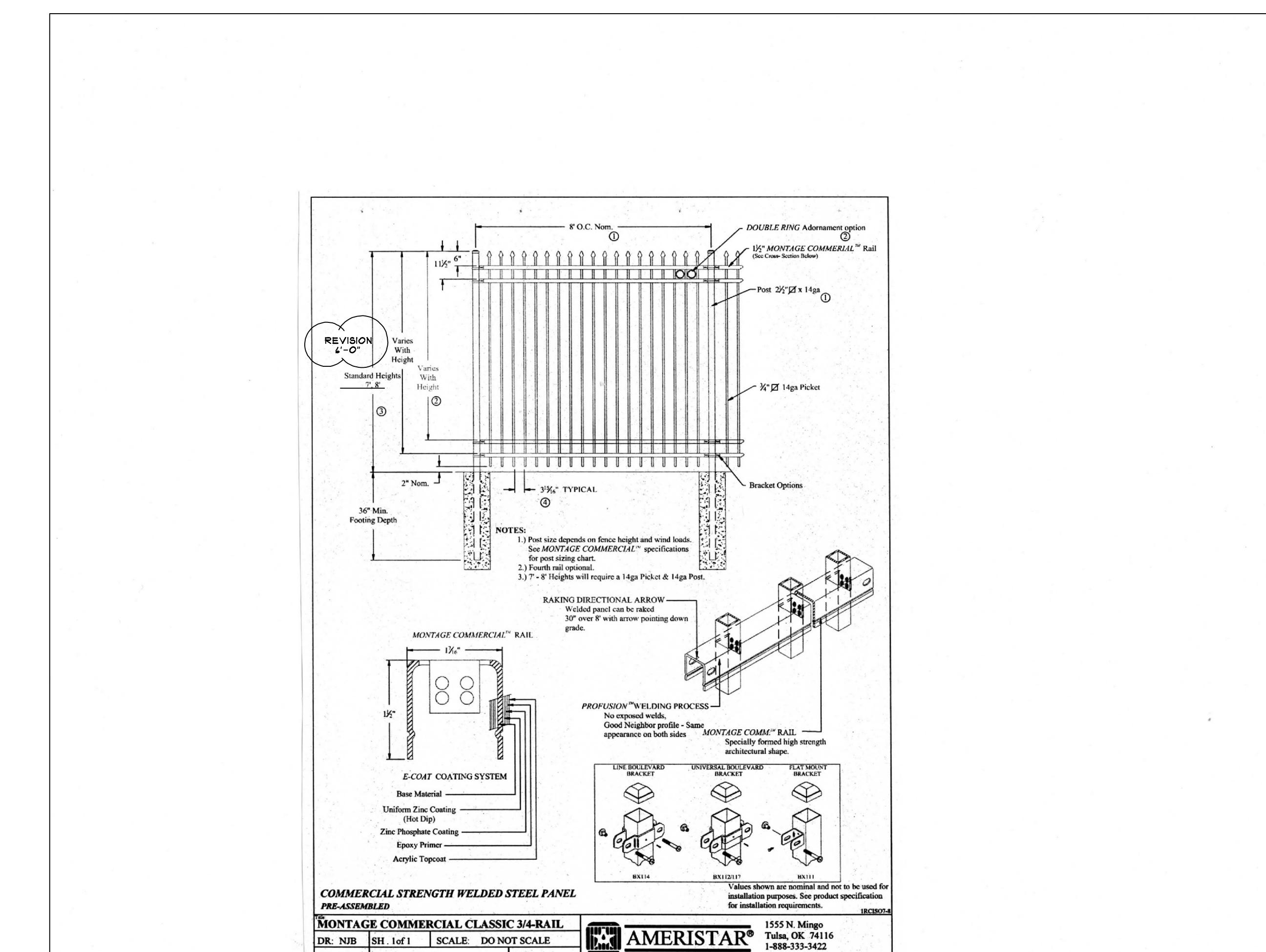
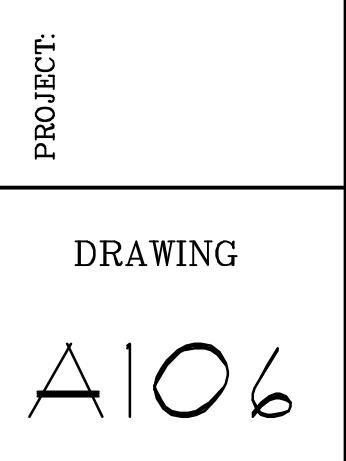
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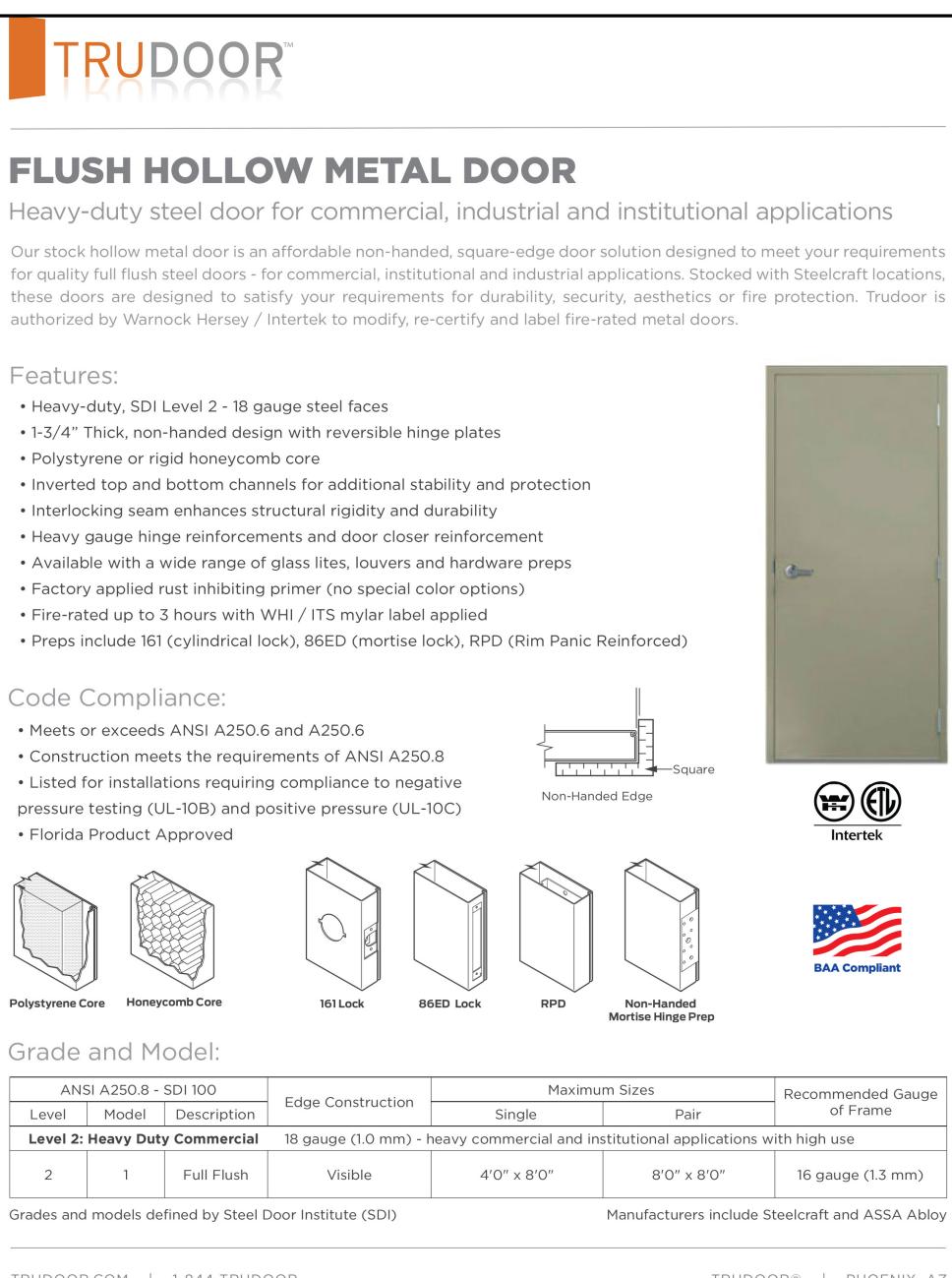


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			09/02/24	08/08/24	05/24/24	01/11/25
			12/11/24	01/10/25	01/11/24	04/23/24



<i>CHARLES M. PORTER, ARCHITECT</i>	
<i>P. O. BOX 1001, ATHENS, GA 30603</i>	
<i>706-548-4229</i>	
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<small>REVISIONS</small>	<i>08/08/24</i>
	<i>12/11/24</i>
	<small>ALL CODE REQUIREMENTS, ORDINANCES, AND REGULATIONS ARE PART OF THESE DRAWINGS AND SPECIFICATIONS.</small>
<small>DATE:</small>	<i>05</i>

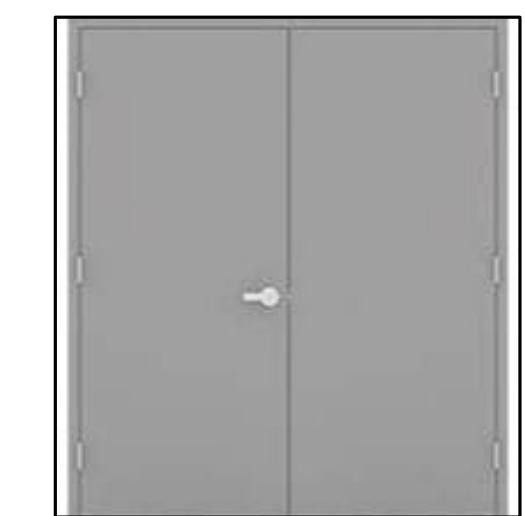




LIGHT CARRY



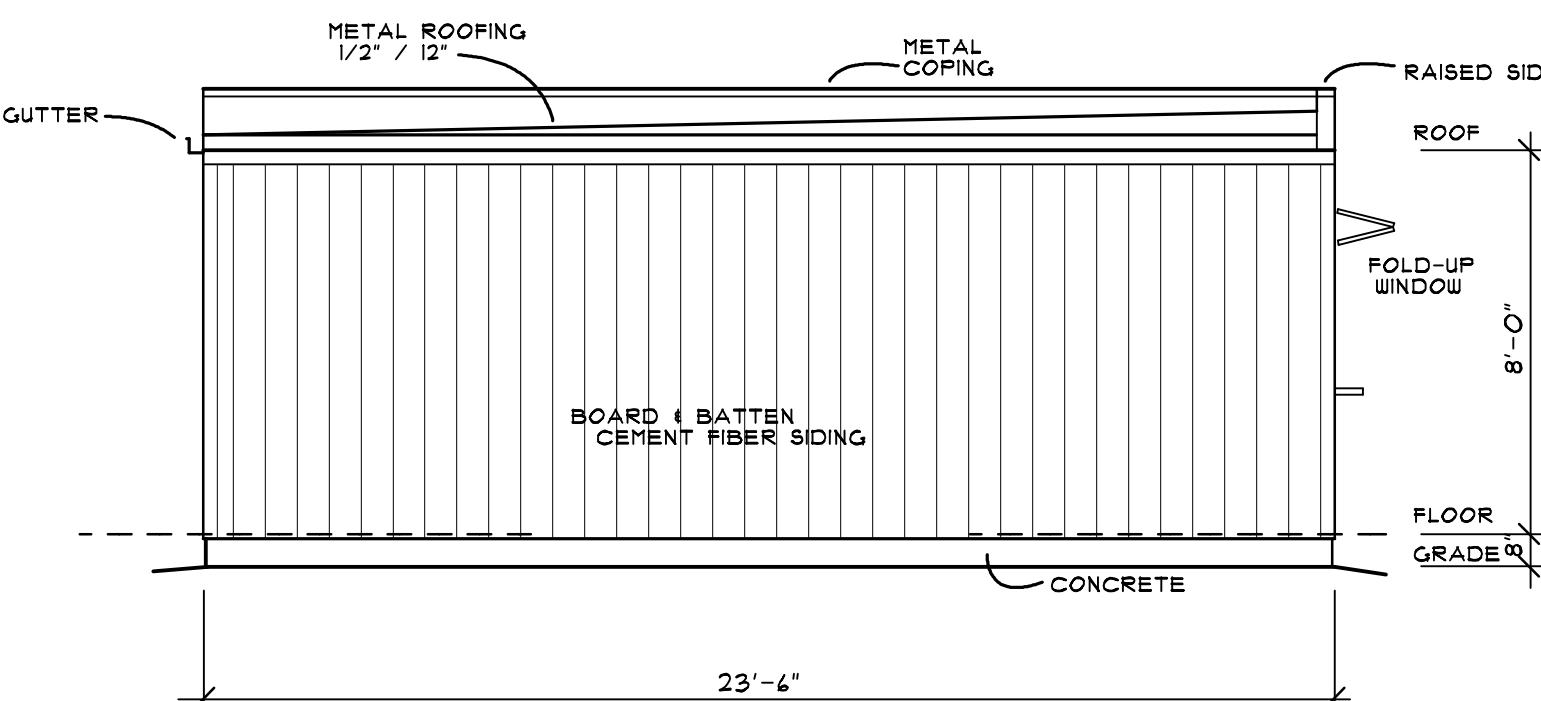
SINGLE DOOR  
no scale  
OUTSIDE BAR



## LIGHT GREY

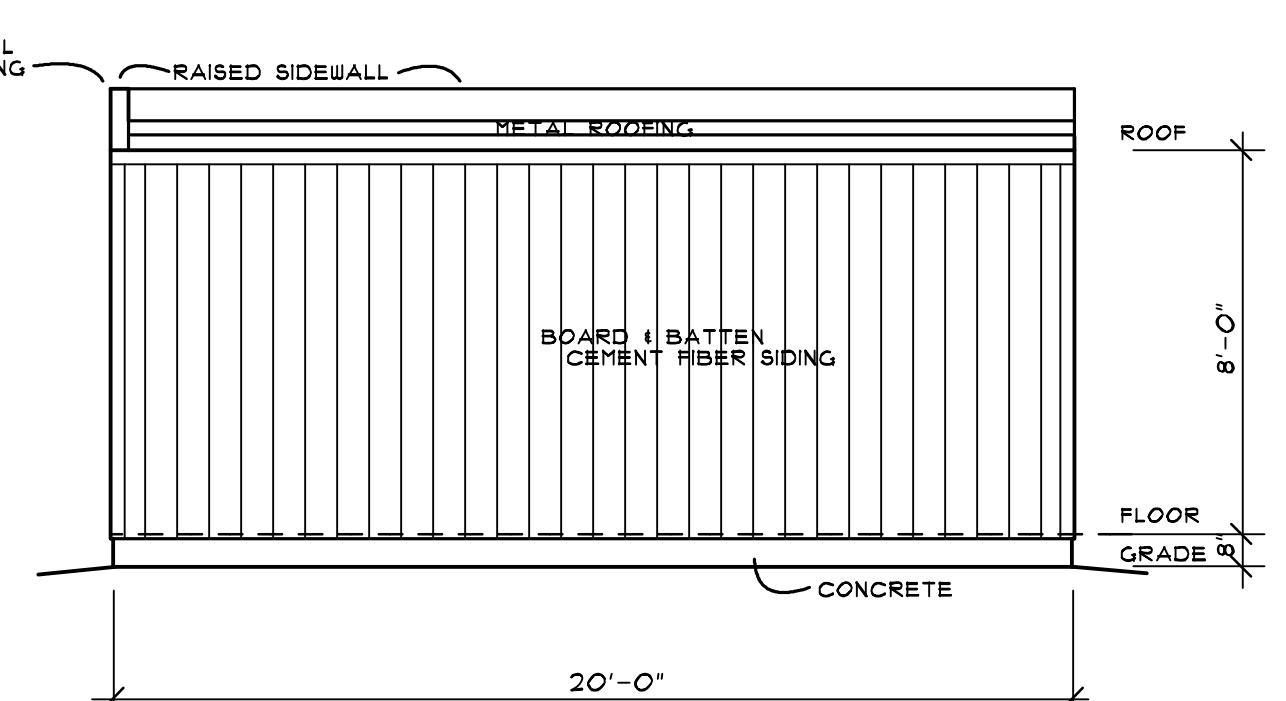
## STEEL DOOR SPECIFICATION

no scale  
DOUBLE DOORS / SINGLES



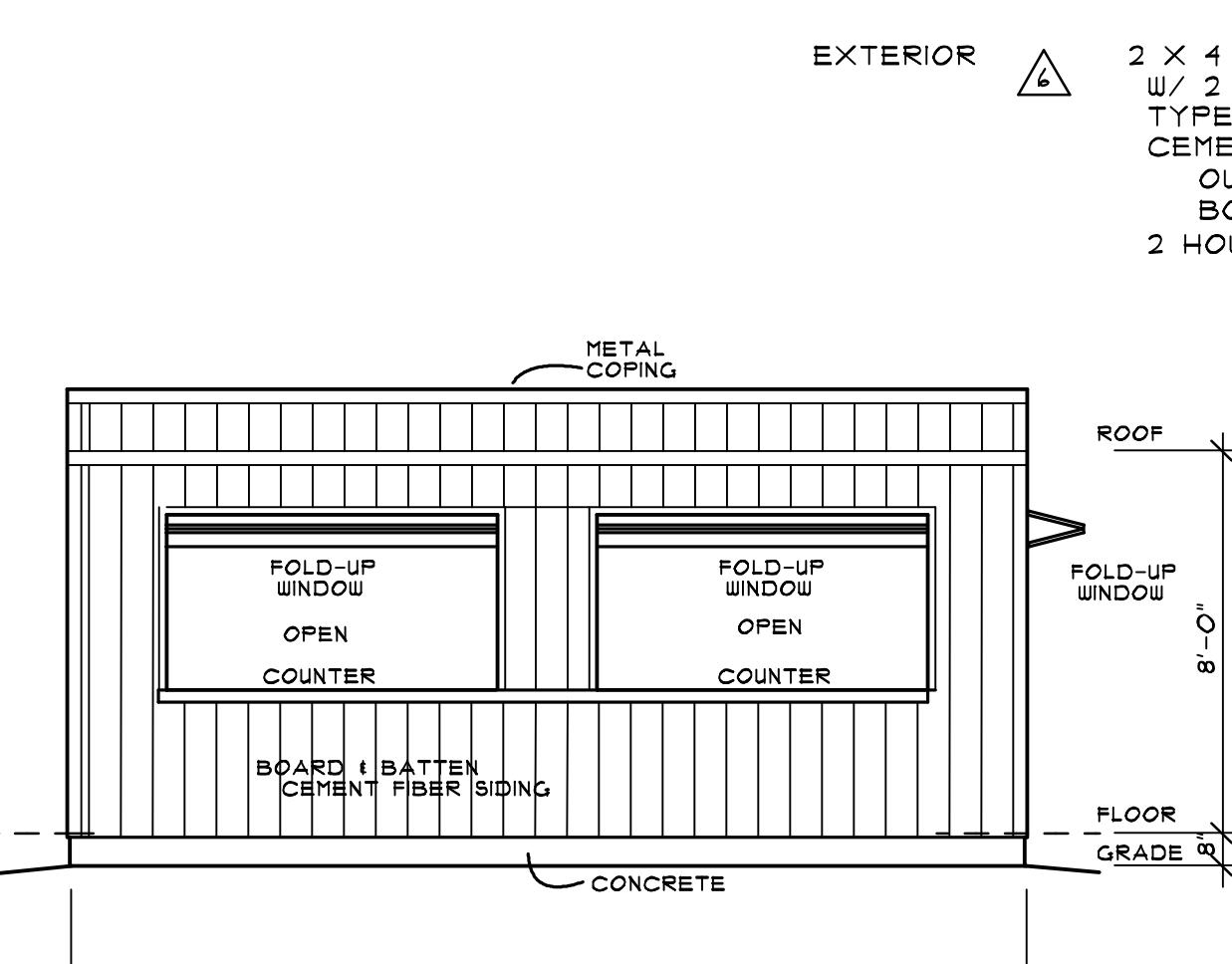
## SOUTH ELEVATION

1/4" = 1'-0

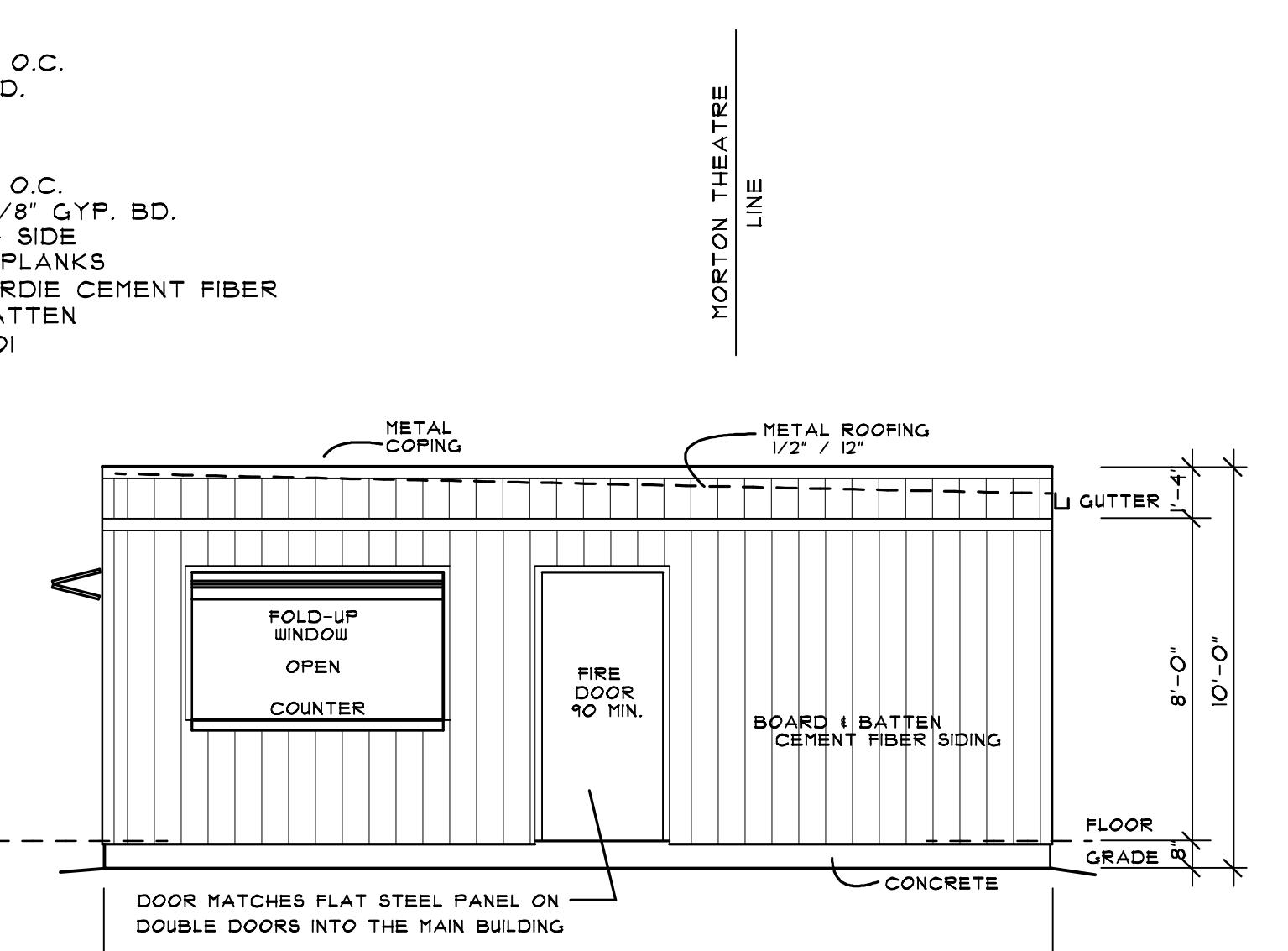


## WEST ELEVATION

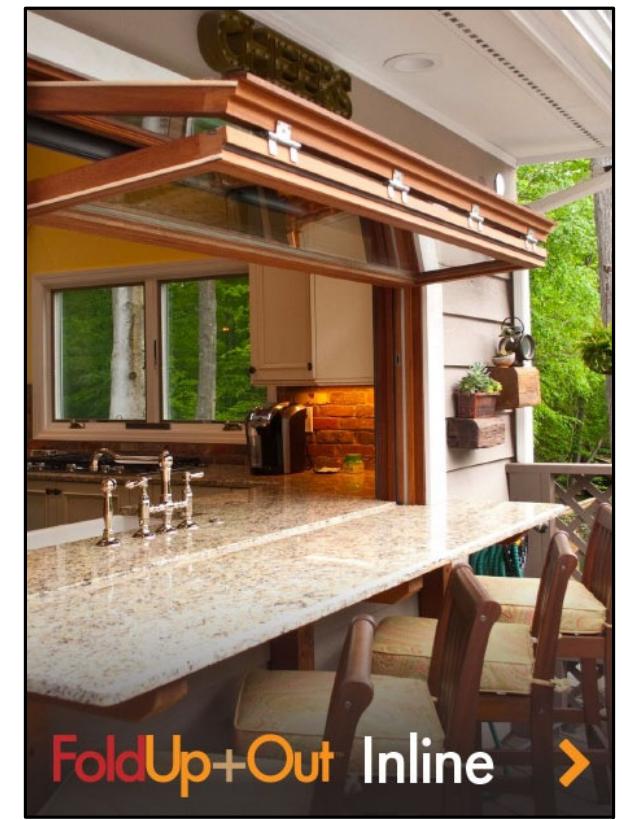
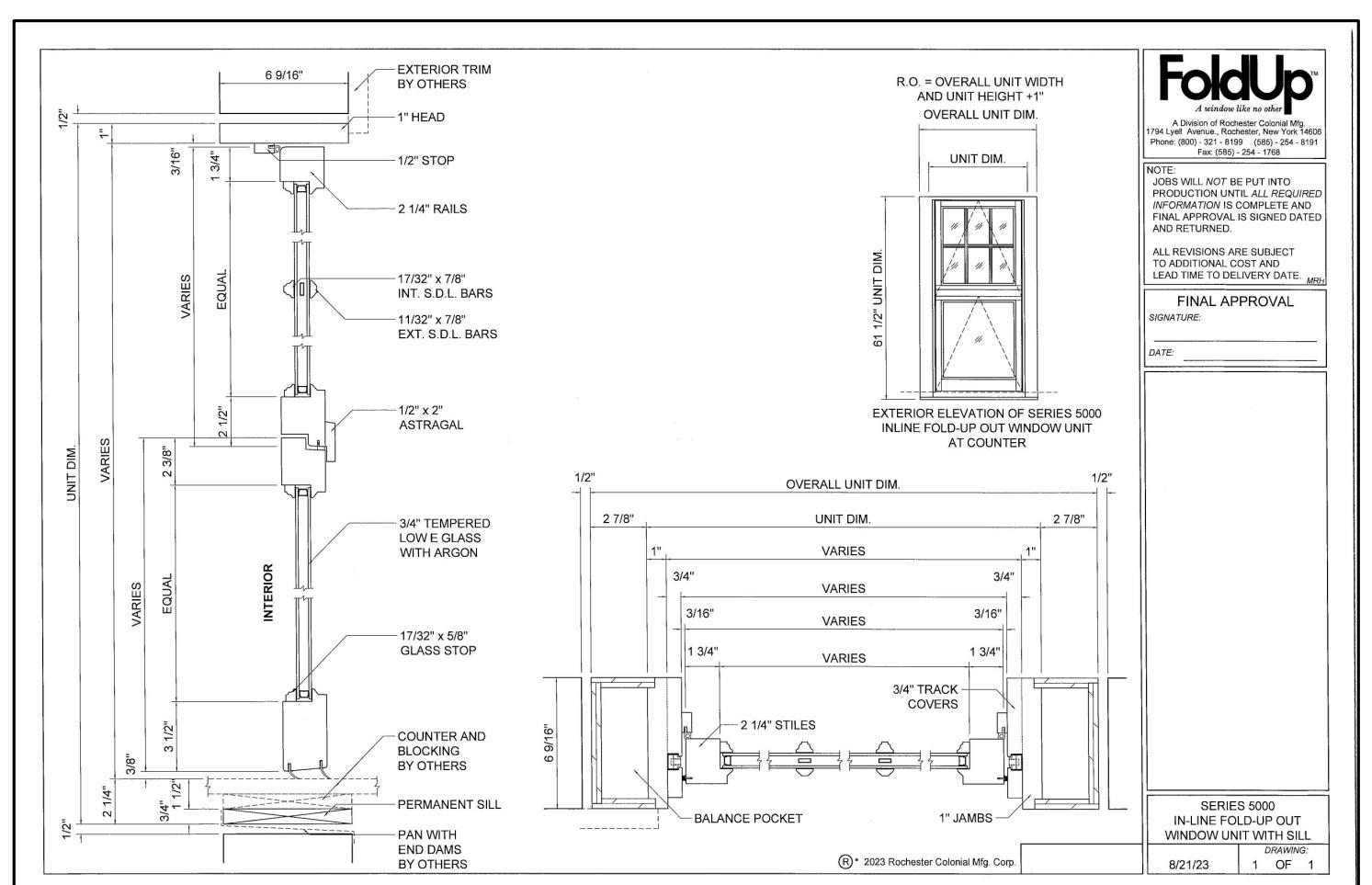
1/4" = 1'-0"



## **EAST ELEVATION**



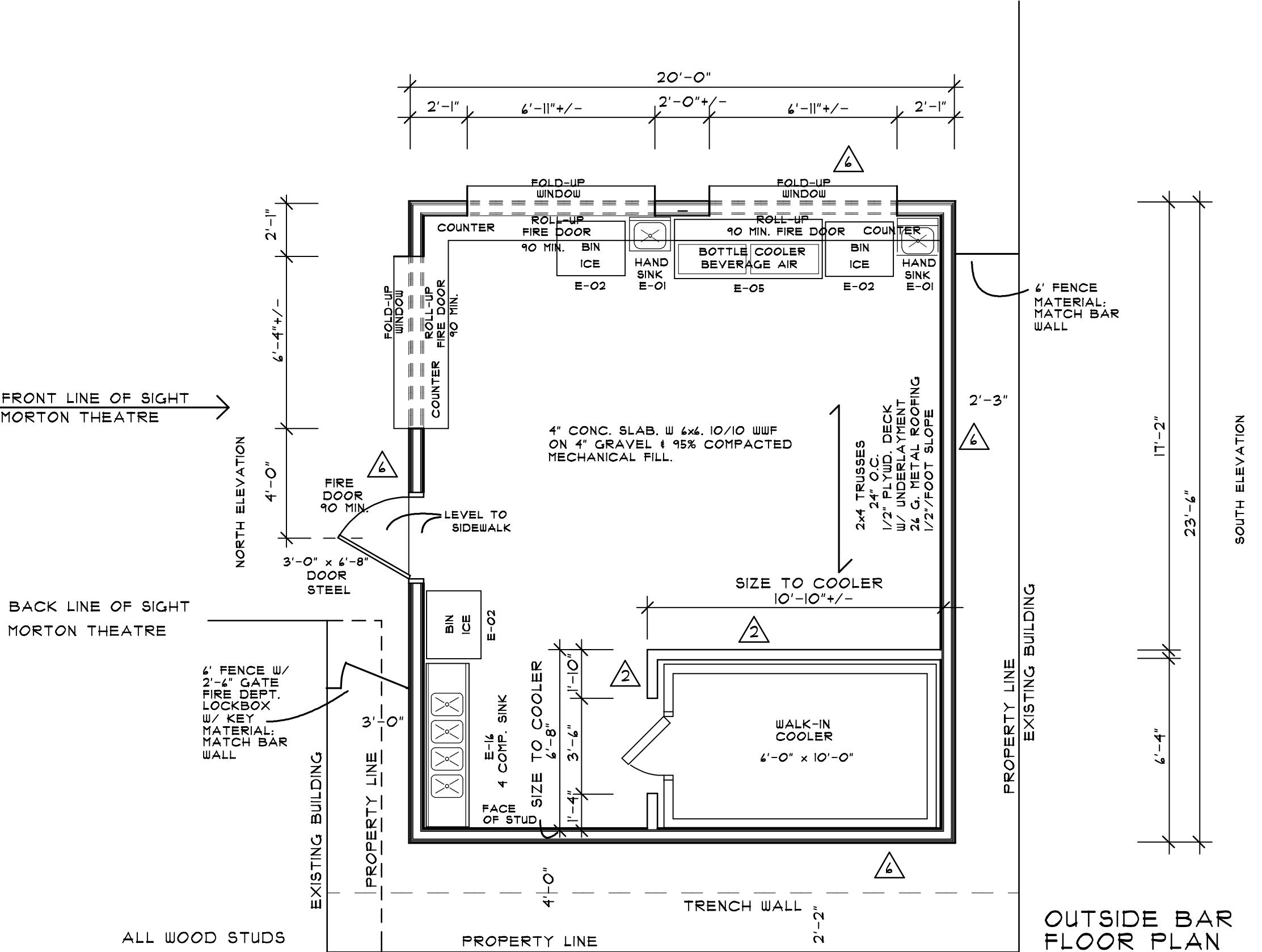
NORTH ELEVATION



## OUTSIDE BAR WINDOWS



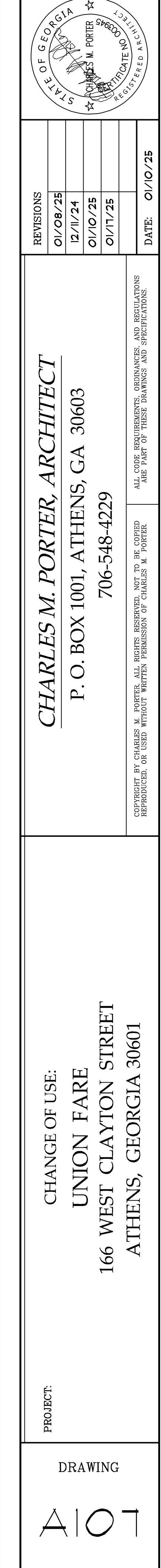
## OUTSIDE BAR SIDING



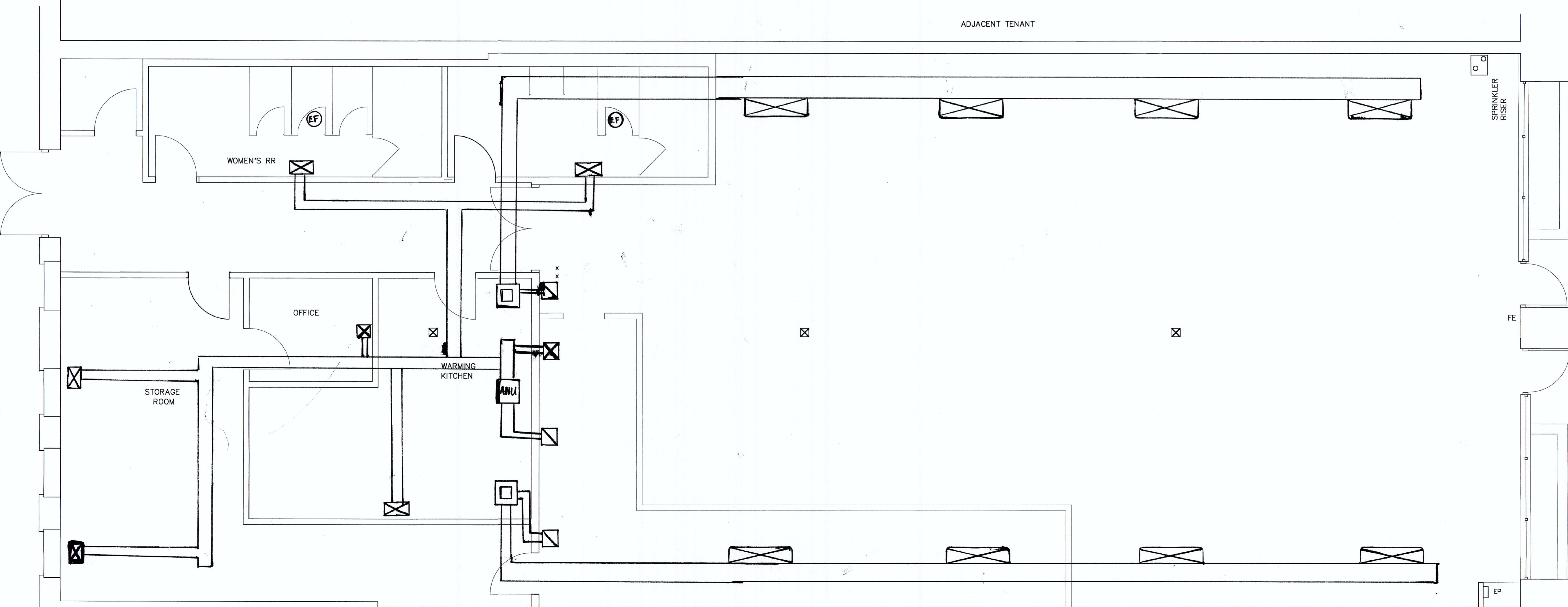
## OUTSIDE BAR FLOOR PLAN

ROOF ASSEMBLY:  
WOOD TRUSSES 24" O.C.  
5/8" PLYWD. DECK, EXT  
A, B, OR C COVERING  
1" STL. CHANNEL, 16" O.C.  
ON BOTTOM CORDS  
W/ 5/8" GYP. BD.  
TYPE 'X'  
UL DESIGN P-522  
1 HOUR

BUILDING CONSTRUCTION TYPE: III-A LS  
III-A IB



DEATON MECHANICAL LLC.  
DANIEL DEATON/7062480336  
GA LIC # CRL09674  
*Dan Deaton*



GENERAL NOTES:

- RELOCATE A/C UNITS TO ROOF.
- RESTROOM FANS VENT TO ROOF WITH DAMPER.
- 90% FURNACE VENTS TO ROOF.
- FRESH AIR FROM BACK OF BUILDING
- RELOCATE 2 GAS FURNACES TO MEZZANINE.

EQUIPMENT:

1. 90% GAS FURNACE / 90,000BTU / 4 TON A/C
2. 90% GAS FURNACE / 110,000BTU / 5 TON A/C
3. 5 TON AHU / 5 TON A/C

FLOOR PLAN  
1/4" = 1'-0"

CHANGE OF USE:  
UNION FARE  
166 WEST CLAYTON STREET  
ATHENS, GEORGIA 30601

 APPROVED PLANS  
Any changes to this set of plans must be reviewed and approved by the appropriate Athens-Clarke County Departments.  
PR-2024-04-0813 02/06/2025  
REFERENCE # DATE

M-1

EQUIPMENT SCHEDULE

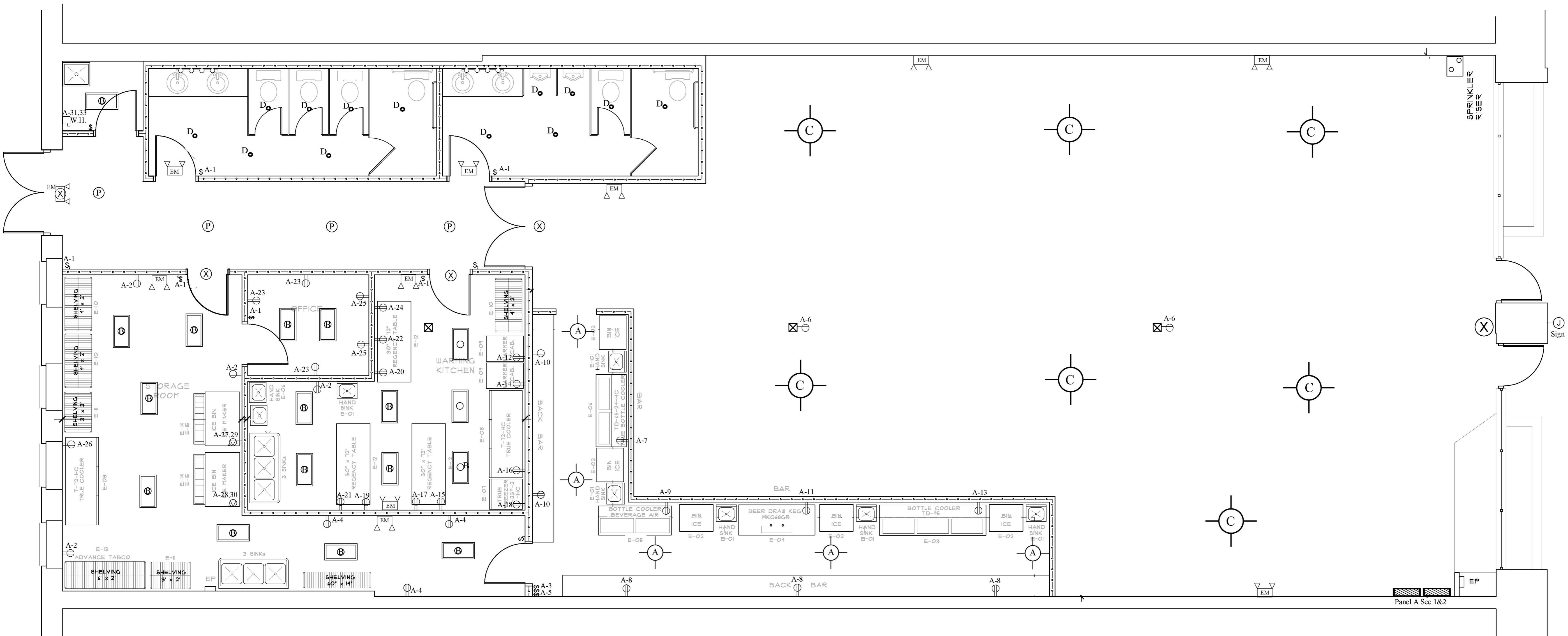
LABEL	DESCRIPTION	MANUFACTURER	POWER		SIZE		REMARKS
			GAS (BTU)	ELEC. (AMP)	WIDTH	DEPTH	
E-01	HAND SINK	ADV. TABCO, T-PS-61	-	-	17"	15"	5" DEEP
E-02	ICE BIN	ADV. TABCO, CRI-16-30	-	-	36"	24"	29"
E-03	BOTTLE COOLER	TRUE, TD-95-38-HC	-	3.1	95"	28"	33 1/2"
E-04	BEER DISPENSER	ATOSTA, MKC68GR	-	2.3	68"	28"	34"
E-05	BOTTLE COOLER	BEVERAGE AIR, DW64HC-S	-	5.2	12"	24 1/2"	35 1/2"
E-06	BOTTLE COOLER	TRUE, TD-95-38-HC	-	3.1	64 1/2"	27"	33 1/2"
E-07	FREEZER	TRUE, T-23F-2-HC	-	3.1	27"	29"	78 3/8"
E-08	REFRIGERATOR	TRUE, T12-HC	-	6.9	78"	29 1/2"	78 3/8"
E-09	WARMING CABINET	MAIN, CHP-1836U	-	1440 W	23"	33 1/4"	66 1/2"
E-10	SHELVING	ADV. TABO, ECC-2448	-	-	48"	24"	74"
E-11	SHELVING	ADV. TABO, ECC-2436	-	-	36"	24"	74"
E-12	SS TABLE	REGENCY, 16 G, 304, W/ UNDER SHF.	-	-	12"	30"	34"
E-13	SHELVING	ADV. TABO, ECC-2412	-	-	12"	24"	74"
E-14	ICE BIN	HOSKIZAKI, B-1300-SS	-	-	48"	41"	60"
E-15	ICE MAKER	HOSKIZAKI, KM-16015JA	-	15.9	48"	27 1/2"	27 3/8"

A - LARGE PENDANT LIGHT  
 B - 2X4 FLAT PANEL  
 C - CHANDELIER  
 D - DOWN LIGHT  
 P - SMALL PENDANT LIGHT  
 X - EXIT  
 EM - BUG EYE

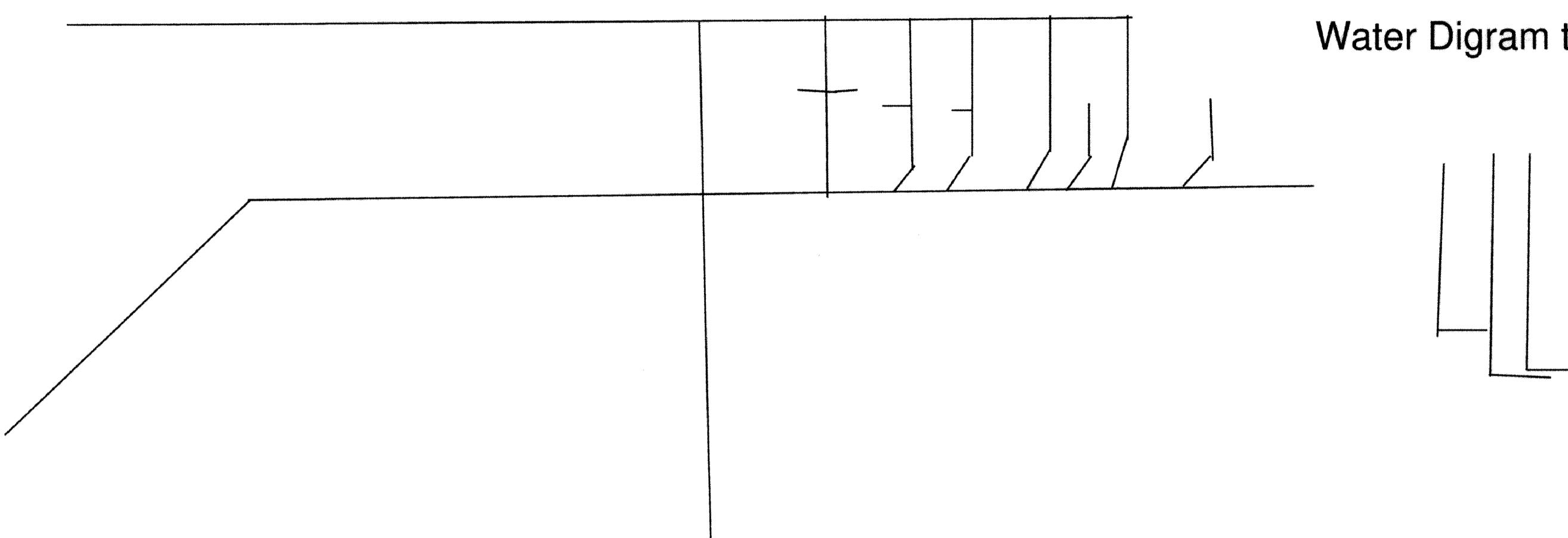
APPROVED PLANS	
Any changes to this set of plans must be reviewed and approved by the appropriate Athens-Clarke County Departments.	
PR-2024-04-0813	02/06/2025
REFERENCE #	DATE

REVISIONS	
	DATE: 03/20/24

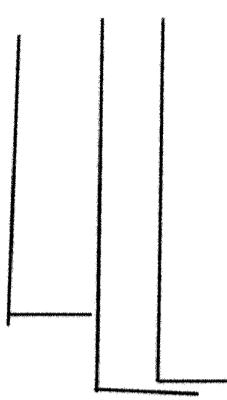
COURTYARD



Drain and vent rest room Diagram

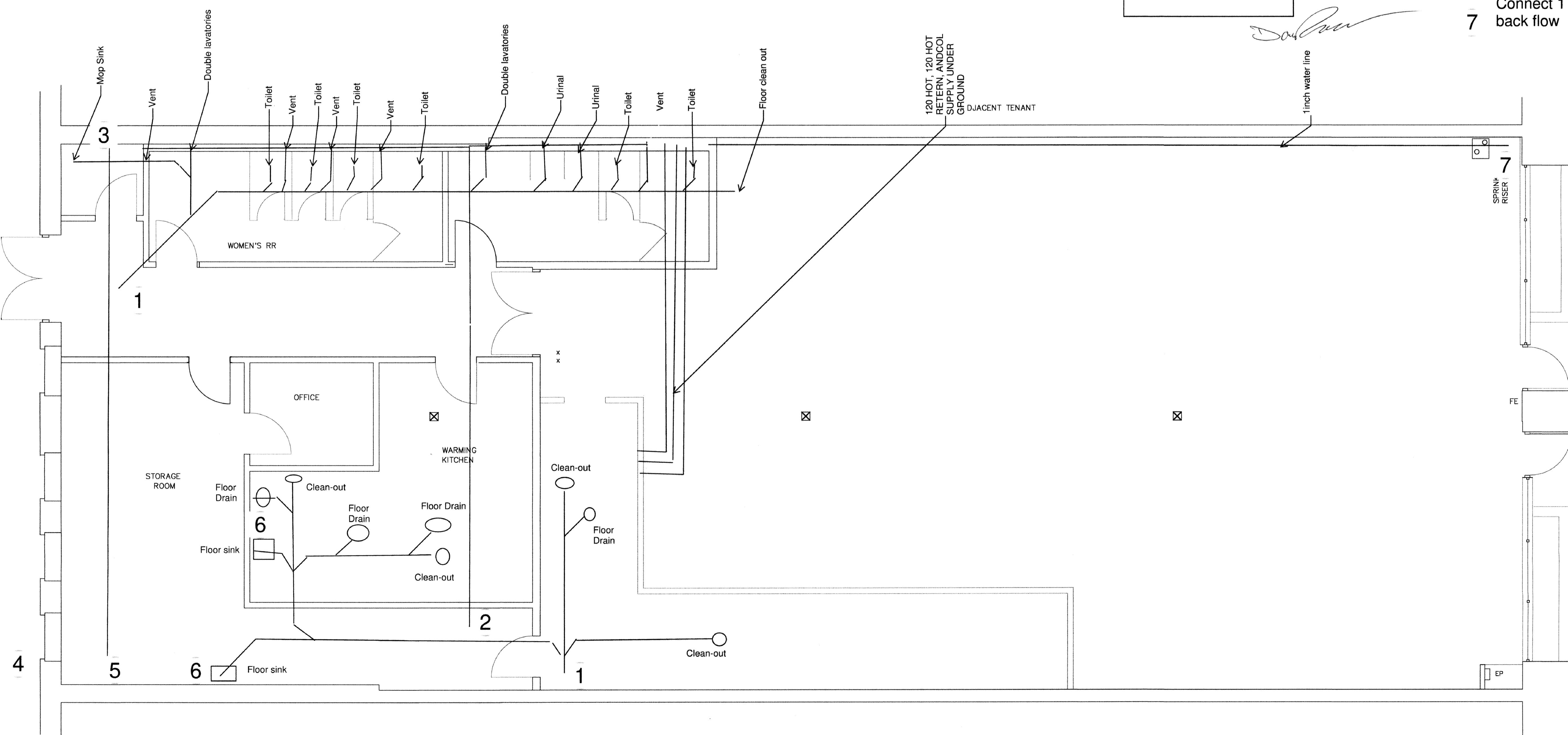


Water Diagram typical for lavatory



Fixture Schedule

Water closet tank type 1.28 gpf  
Lavatory 1.5 gpm oval drop in  
urinal.5 gpf  
Navien tankless water heater 199 btu  
Rheem 40 gallon electric 240v  
Floor clean out brass top  
Floor sink 3 inch waste outlet  
Floor drain brass top  
Grease trap 40 lb 20 gpm



CHANGE OF USE:

UNION FARE  
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ATHENS, GEORGIA 30601

- 1 CONNECT 4 INCH DRAIN TO EXISTING
- 2 CONNECT 3 INCH VENT TO EXISTING
- 3 2 NAVIEN GAS TANKLESS WATER HEATERS SUPPLIED TO THE WARMING KITCHEN TO BE INSTALLED
- 4 2 PSI GAS METER TO BE INSTALLED COORDINATE WITH GAS COMPANY
- 5 Connect to existing gas
- 6 Grease trap to be installed in line with the 3 compartment sinks
- 7 Connect 1 inch water line to existing back flow

Dana Roseman  
mp-210909



LEGEND

O - 1/2" REINFORCING ROD SET  
 ◊ - 1/2" REINFORCING ROD FOUND (OR AS NOTED)  
 □ - DRILL HOLE IN CONCRETE  
 □ - CONCRETE RIGHT OF WAY POST FOUND  
 ◇ - POINT ONLY  
 - - POWER(PP), TELEPHONE(TP)  
 \* - LAMP POST  
 PW - PARKING METER  
 ACP - AIR CONDITIONING PAD  
 G - GAS METER

THIS BLOCK IS RESERVED FOR THE CLERK  
OF THE SUPERIOR COURT



VICINITY MAP



NOTES

OWNER: JASON DUNN (4861-271-8860)  
 169 WEST CLAYTON STREET, ATHENS, GA 30601  
 4 USE: COMMERCIAL  
 2 WATER SUPPLY: ATHENS-CLARKE COUNTY WATER IS AVAILABLE.  
 3 SANITARY SEWER DISPOSAL: ATHENS-CLARKE COUNTY SANITARY SEWER IS AVAILABLE.  
 4 TO THE KNOWLEDGE OF THIS FIRM, NO EXISTING OR ABANDONED LANDFILLS ARE LOCATED  
 ON THIS PROPERTY.  
 5  
 6 THIS PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA ACCORDING TO FIRM PANEL  
 NO. 2020000225 DATED SEPTEMBER 15, 2022.  
 7 SETBACKS: NONE  
 8 MAXIMUM BUILDING HEIGHT: 100'  
 9 MAXIMUM LOT COVERAGE: 100% EXCEPT AGRICULTURAL BUILDINGS.  
 10 COMBINATION OF THIS PROPERTY AS SHOWN HERON WILL BEET ALL ATHENS-CLARKE  
 COUNTY ZONING REQUIREMENTS AS TO LOT SIZE, SETBACKS, AND MINIMUM FRONTAGE.  
 11 THERE IS NO LANDSCAPING OR TREE PLANTING PLAN PROPOSED.  
 12 MINIMUM BUILDING SETBACK LINES SHOWN ARE THOSE REQUIRED BY ZONING AND MAY  
 NOT BE IN CONFORMITY WITH THOSE REQUIRED BY SUBDIVISION COVENANTS, WHICH MAY BE  
 GREATER PUBLIC OR PRIVATE THROUGHTFARES OR WALKS ARE LOCATED ON THIS PROPERTY.  
 13 EXCEPT AS SHOWN, THERE ARE NO ENVIRONMENTAL AREAS LOCATED ON THIS PROPERTY.  
 14 THERE ARE DESIGNATED OFF-STREET PARKING AREAS LOCATED ON THIS PROPERTY.  
 15 THERE IS NO PHYSICAL EVIDENCE OF EASEMENTS FOR WATER LINES, SEWER LINES, TRUNKS,  
 SEWER OR STORM SEWER LINES, OR TRAILS EXCEPT AS SHOWN, THERE IS ALSO NO EVIDENCE  
 OF UNDERGROUND ELECTRICAL, TELEPHONE LINES, EXCEPT AS SHOWN.  
 16 THERE ARE NO ATHENS-CLARKE COUNTY TREES LOCATED IN THE  
 ADJACENT RIGHT OF WAY. ATHENS-CLARKE COUNTY TREES CANNOT BE DISTRIBUTED OR REMOVED  
 WITHOUT THE APPROVAL OF THE ATHENS-CLARKE COUNTY LANDSCAPE MANAGEMENT  
 DIVISION.  
 17 COORDINATES ARE BASED ON AN ASSUMED DATUM.  
 18 TAX PARCELS 171A5 A003 AND 171A5 A009 ARE BEING  
 COMBINED TO FORM ONE TRACT.

SURVEY FOR:  
 JASON DUNN  
 169 WEST WASHINGTON STREET & 166 WEST CLAYTON STREET  
 ATHENS

COUNTY: CLARKE	G.M.D.: 216	STATE: GEORGIA
DATE: AUGUST 10, 2023	SCALE: 1"=20'	DWY. BY: JESSI
FIELDBOOK: 1045	SURVEYED BY: TRITIONS SURVEYING LLC 706-548-5673 140 MILL CENTER BLVD. ATHENS, GA 30606 LAND SURVEYOR FIRM LICENSE NO. LS020277	FILE NO: 38861-

STORMWATER NOTES

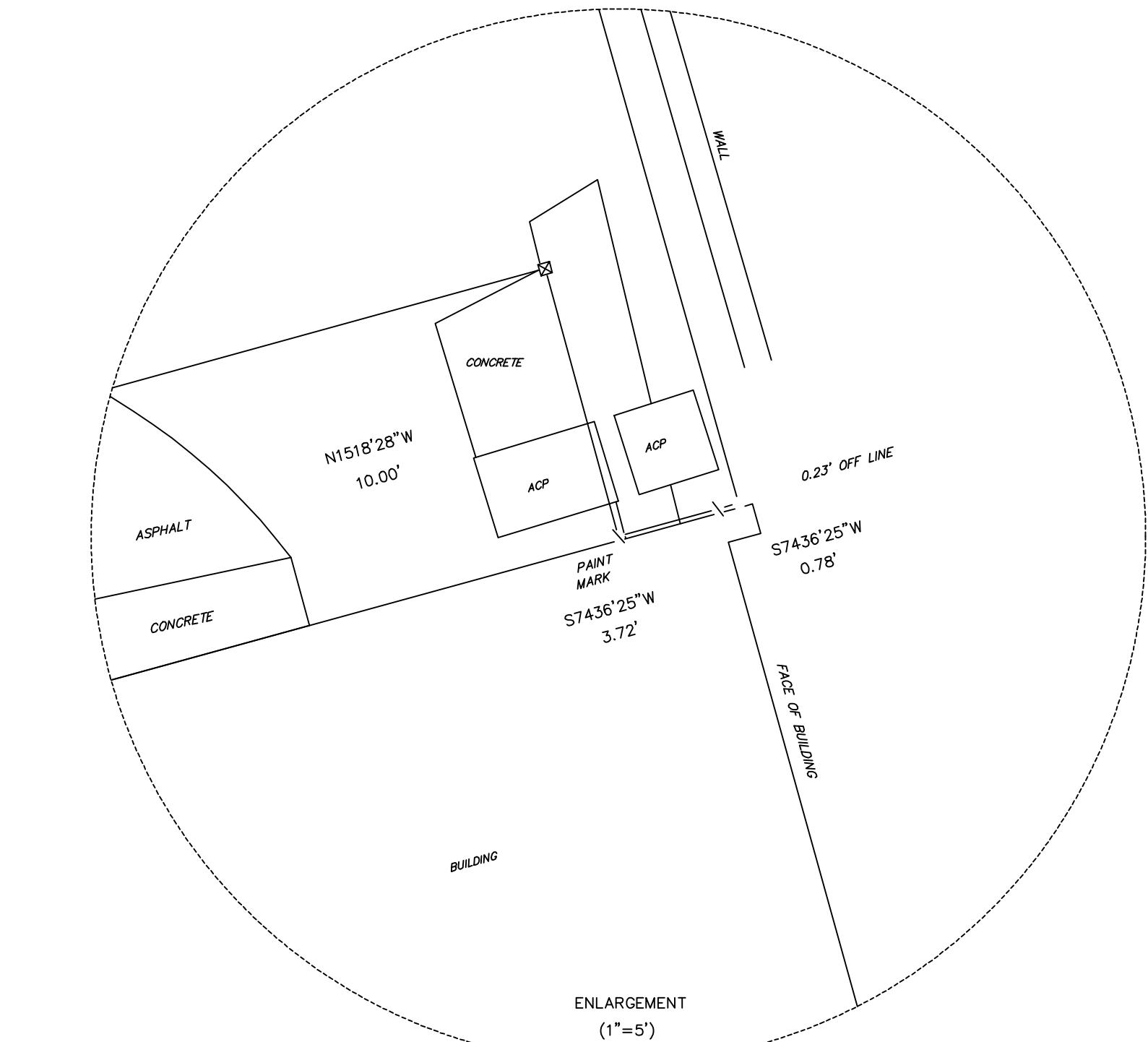
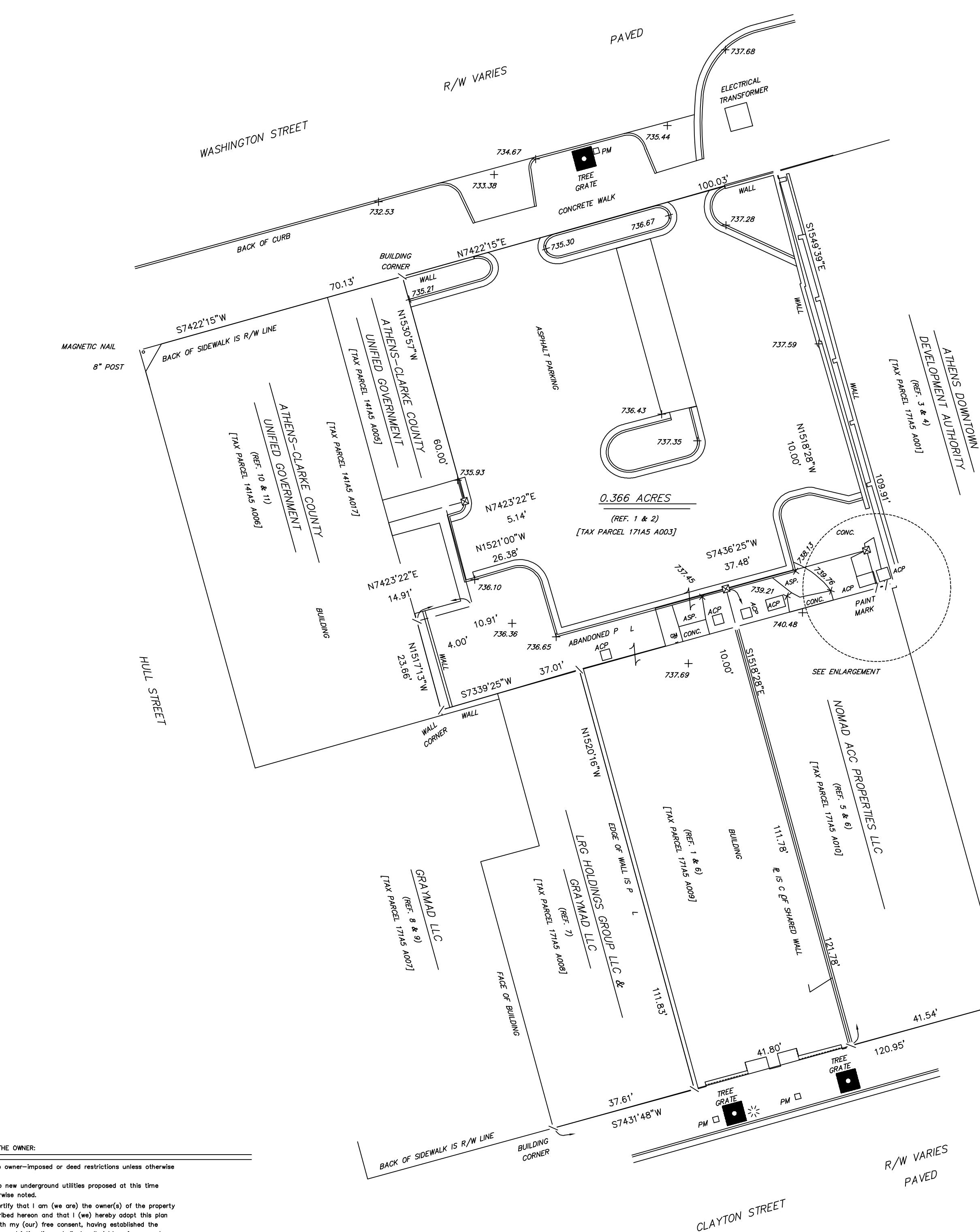
(1) NO LAND DEVELOPMENT ACTIVITIES ARE PROPOSED AS A PART  
 OF THIS PLAT, THEREFORE STORMWATER MANAGEMENT IS NOT  
 APPLICABLE IN ACCORDANCE WITH ACC CODE SECTION 5-4-3(a).  
 (2) ANY FUTURE LAND DEVELOPMENT ACTIVITIES ON THIS PROPERTY  
 WILL REQUIRE A STORMWATER MANAGEMENT PLAN.

STATEMENT OF THE OWNER:

(1) There are no owner-imposed or deed restrictions unless otherwise noted.  
 (2) There are no new underground utilities proposed at this time unless otherwise noted.  
 I (we) hereby certify that I am (we are) the owner(s) of the property shown and described herein and that I (we) hereby adopt this plan of subdivision with my (our) free and general consent, subject to the minimum requirements of the plat, the dedications of right-of-way, water and sewer easements, drainage easements, alleys, walks, parks and other open spaces to public or private use as noted, and agree to provide for the drainage of all property in the subdivision to the common areas and outlets. I (we) further acknowledge that possession of the rights-of-way remains solely with the subdivider until such time as all bonds are released by Athens-Clarke County.

SUBDIVIDER: OWNER:

AS REQUIRED BY SUBSECTION (d) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY AN APPROVAL STAMP OR SIGNATURE. THE INFORMATION CONTAINED IN THIS PLAT AND ITS RECORDING COORDINATES SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT HAS BEEN PREPARED IN ACCORDANCE WITH THE STANDARDS AND PRACTICES IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.



I hereby certify that all required improvements necessary to provide water and/or sewer service from the Athens-Clarke County water distribution and/or sanitary sewer collection system(s), as noted, have been satisfactorily installed and have been accepted by Athens-Clarke County for ownership, operation, and maintenance, or improvement guidelines in an amount sufficient to secure the satisfactory installation and dedication of the necessary improvements have been provided.

Public Utilities Director Date

I hereby certify that all required improvements necessary to provide streets and other required public improvements in accordance with plans submitted to Athens-Clarke County by the subdivider's professional representative have been satisfactorily installed and are adequately guaranteed in an amount sufficient to secure satisfactory installation. All drainage and access easements shown are the maintenance responsibility of the property owner per ACC policy.

Public Works Director Date

This plot has been approved in accordance with the Athens-Clarke County Subdivision Regulations.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

Director, Department of Planning

APPROVED PLANS  
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 PR-2024-04-0813 02/06/2025  
 REFERENCE # DATE

REFERENCES

(1) DEED BOOK 5397, PAGE 210  
 (2) PLANNER & HUDSON SURVEY OF MR. E.C. JACKSON PROPERTY, DATED MARCH 1950  
 (3) PLAT BOOK G, PAGE 141B  
 (4) PLANNER & HUDSON SURVEY OF GEO. E. SCOTT PROPERTY, DATED AUGUST 1954  
 (5) DEED BOOK 4010, PAGE 66  
 (6) PLAT BOOK 4, PAGE 161  
 (7) DEED BOOK 5448, PAGE 41  
 (8) DEED BOOK 5448, PAGE 16  
 (9) SURVEY BY BEN MCLEROY FOR GRAYMAD, LLC, DATED APRIL 9, 2018  
 (10) SURVEY BY BEN MCLEROY FOR CLARKE COUNTY, DATED APRIL 23, 1991  
 (11) SURVEY BY BEN MCLEROY FOR CLARKE COUNTY, DATED NOVEMBER 1, 1990

SURVEY NOTES

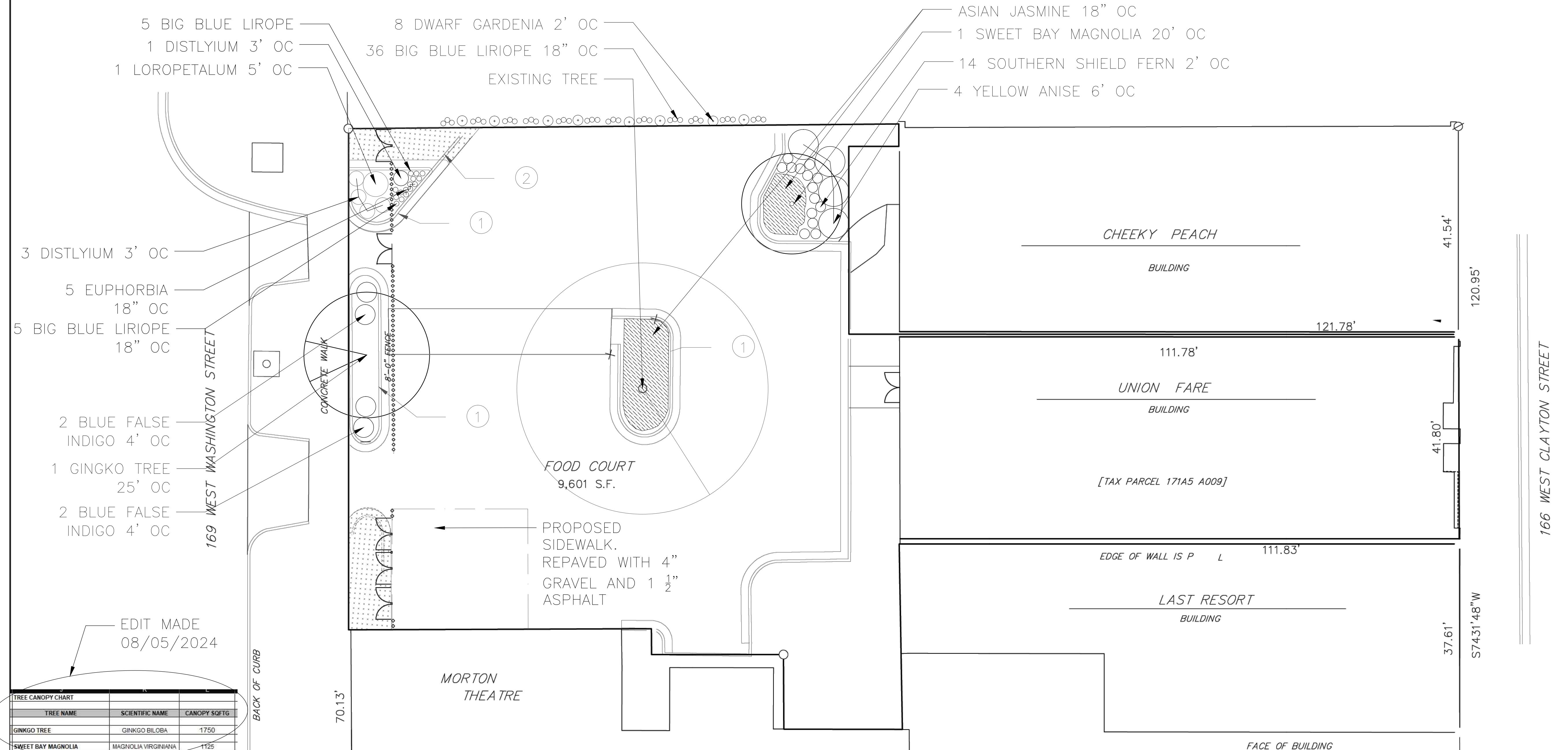
(1) EQUIPMENT USED: 02" THEODOLITE AND E.D.M.  
 (2) ANGULAR ERROR: 02" PER STATION ADJUSTED  
 (3) LINEAR CLOSURE: 1/15,000+, BALANCED ARBITRARILY  
 (4) MINIMUM PLAT CLOSURE: 1/159,728

SURVEY FOR:  
 JASON DUNN  
 169 WEST WASHINGTON STREET & 166 WEST CLAYTON STREET  
 ATHENS

COUNTY: CLARKE	G.M.D.: 216	STATE: GEORGIA
DATE: AUGUST 10, 2023	SCALE: 1"=20'	DWY. BY: JESSI
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CHANGE OF USE:  
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ATHENS, GEORGIA 30601

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LEGEND WITH NOTES

① EXISTING CURB AREAS TO BE REMOVED – AREA TO BE LEVEL WITH HEIGHT OF EXISTING SIDEWALK – WILL BE REPLACED WITH 4-6" ASPHALT

② EXISTING DIRT AND GRAVEL IN PLANTER AREAS TO BE REPLACED WITH 6" TOPSOIL FOR NEW PLANTINGS

③ NOTE THAT ONLY PART OF SPECIFIED CURB IS TO BE REMOVED FOR EXIT PATH AS SHOWN

**PRO**  
**SCAPES LLC**

Pro Scapes Landscape Solutions LLC  
NAME: Rick Cencula  
  
LICENSE #: BT-0097060  
DATE: 6/27/2024  
PHONE: 706-705-0181  
WEB SITE: www.proscapesllc.org

1.0