

DISCLAIMER

To the best of our knowledge, these plans are drawn to comply with the homeowner's and/or contractor's specifications and any changes made on them after prints are made will be done at the homeowner's and/or contractor's expense and responsibility. The contractor shall verify all dimensions and enclosed drawings. Shot House Studios, LLC, is liable for errors and omissions in these plans but shall not be liable for any damages or losses resulting from any errors made in the preparation of this plan to avoid mistakes, Shot House Studios, LLC, can not guarantee against human error. The contractor must check all dimensions and other details prior to construction and be solely responsible thereafter.

These drawings are the proprietary product and property of Shot House Studios, LLC, developed for the exclusive use of the homeowner and/or contractor named on the permit documents. Use of these drawings and concepts contained therein without the written permission of Shot House Studios, LLC, is prohibited and may subject you to a claim.

Homeowner will take necessary precautions to remove or relocate items and materials which may be in danger of being damaged due to the construction process. Homeowner should discuss any items in or near the work zone with the contractor to assure they are removed or protected.

CODE NOTES

Latest editions of the following Georgia State Minimum Standard Codes:
 International Building Code (ICC) (with Appendix D: Fire District)
 International Mechanical Code (ICC)
 International Fuel Gas Code (ICC)
 International Property Maintenance Code, (ICC)
 National Electrical Code (NFPA)
 International Plumbing Code (ICC)
 International Energy Conservation Code (ICC)
 International Residential Code for One and Two-Family Dwellings (ICC)
 International Existing Building Code (ICC)
 International Swimming Pool and Spa Code (ICC)

ABBREVIATIONS

@	at
#	Pound or Number
A.B.	Anchor Bolt
A.F.F.	Above Finish Floor
A.F.G.	Above Finish Grade
BLKG.	Blocking
BM.	Beam
B.O.	Bottom Of
C.I.	Contractor Installed
C.F.	Contractor Furnished
CLR.	Clear
CLNG.	Ceiling
CONT.	Continuous
COL.	Column
DIA.	Diameter
DET.	Detail
D.F.	Douglas Fir
DBL.	Double
(E)	Existing
EA.	Each
EQ.	Equal
E.W.	Each Way
FIN.	Finish
F.O.	Face Of
FT.	Foot or Feet
HDR.	Header
HT.	Height
JST.	Joint
MAX.	Maximum
M.B.	Machine Bolt
MIN.	Minimum
MTD.	Mounted
N.I.C.	Not In Contract
(N)	New
NOM.	Normal
N.T.S	Not To Scale
O/	Over
O/A	Overall
O.F.	Outside Face
O.C.	On Center
O.I.	Owner Installed
OPP.	Opposite
PL.	Plate or Property line
PLY.	Plywood
PTD.	Painted
P.T.	Pressure Treated
REINF.	Reinforced
RET.	Retaining
R.O.	Rough Opening
RWD.	Redwood
S.F.	Square Feet
S.S.D	See Structural Drawings
SHTG.	Sheeting
SHT.	Sheet
SIM.	Similar
SO.	Square
STD.	Standard
STE.	Similar To Existing
STR.	Structural
T.B.D.	To Be Determined
T.B.R.	To Be Removed
TO.	Top
TYP.	Typical
V.I.F.	Verify in Field
W/	With
W.O.	Where Occurs
W/O	Without
U.N.O.	Unless Noted Otherwise

GENERAL NOTES

- Contractor shall carefully study and compare the construction documents and shall at once report to Owner/Designer any error, inconsistency, or omission contained in the documents pertaining to any portion of the work at any time without construction documents, or where required, approved shop drawings, product data, or samples for such portion of the work.
- Contractor shall verify that site conditions are consistent with these plans before starting work. Designer shall be consulted for clarification if site conditions are encountered that are different than shown, if discrepancies are found in the plans or notes, or if a question arises over the intent of the plans or notes. Work not specifically detailed shall be constructed to the same quality as similar work detailed herein.
- Contractor to coordinate all electrical, mechanical, and structural requirements applied by Designer. Any construction work pertaining to HVAC systems, security systems, sprinkler elements, equipment, etc. shall be handled by Owner/Designer.
- Unless otherwise provided in contract documents, contractor to provide and pay for all permits, labor, construction, equipment, and machinery, tools, transportation, and other facilities and services necessary for proper execution and completion of work. Contractor to pay all sales, consumer, use and other similar taxes for work, or portions thereof provided by Contractor, which are legal at time of construction.
- Contractor shall be responsible for all construction means, methods, techniques, sequences, and procedures, and shall coordinate all portions of the work. Contractor to be solely responsible for all construction means, methods, techniques, sequences, and procedures.
- Contractor shall be responsible to Owner for the acts and omissions of the contractor's employees, subcontractors, and their agents and employees, and other persons performing any of the work under a contract with Contractor.
- Contractor will report to Owner that all materials furnished under this contract will be new, unless otherwise specified, and all work will be of good quality, free from defects, and in conformance with drawings. All work, not conforming to these requirements, including substitutions, not properly approved and authorized, maybe considered defective and will be removed and replaced at Contractor's expense.
- Contractor will be presumed to have inspected and to have read and to be thoroughly familiar with the construction documents. Failure or omission of any Contractor to examine any form, instrument or document shall in no way relieve the Contractor from any obligation.
- Where required, Owner/Designer shall propose alternative by projected move. Contractor to propose an available alternate for approval by Owner/Designer as well as a prepared, pricing for possible termination of the contract and/or finishes.
- Contractor to verify size, location, and characteristic of all mechanical and electrical equipment and prepare all surfaces accordingly.
- Contractors shall notify Owner/Designer immediately if they cannot comply with all notes called for on all documents and drawings prior to construction.
- All joints, edges, puddles and imperfections in Vapor Barrier to be sealed with vapor tape to maintain the integrity of the Vapor Barrier.
- Seal entire exterior at each window unit with insulation and vapor barrier.
- Flashing to be installed at all exterior openings, including window and door heads and sills and shall be installed to be waterproof.
- Insulate all floors, walls and ceiling, surrounding backfill for foundation walls.
- All exterior walls to be Cleveland B grade stucco in accordance with IBC.
- Fireplaces to have spark arrestor and approved damper. Provide minimum 2' clearance from combustible material. All fireplace surrounds and hearth to be non-combustible materials such as marble, granite or ceramic tile.
- All finishes, specified or not, shall be approved by owner/designer for suitability prior to application.
- Plan views dimensioned from exterior face of framing (excluding sheathing & finishes), to face of interior wall framing (excluding interior wall finishes) and center of openings U.N.O.
- Exterior Elevation dimensioned to face of structural elements U.N.O.
- Interior Wall Elevation dimensioned from wall and ceiling finish surfaces and from top of subfloors U.N.O.
- All interior angles are either 90° or 45° U.N.O.
- Written dimensions and specific notes shall take precedence over scaled dimensions and general notes. Contractor shall verify and is responsible for all dimensions.
- Rough Openings are not accounted for or called out in these plans, and as such shall be verified by the Contractor with window & door manufacturers before final begins.
- Window & door overall heights listed herein are measured to the exterior of window & door frames. Contractor shall verify proper elevation of windows & doors.
- Contractor is responsible for permitting all phases of work as required by federal, state, county, and municipal law.
- Contractor shall furnish and install any and all items required to meet safety codes as required by all applicable federal, state, and local governing ordinances, codes, and regulations. The contractor shall notify owner/designer of any conflict between the drawings and governing codes prior to beginning construction.
- Contractor shall furnish and install any and all items required to meet accessibility standards as required by all applicable federal, state, and local governing ordinances, codes, and regulations. The contractor shall notify owner/designer of any conflict between the drawings and governing codes prior to beginning construction.

PROJECT INFORMATION

Client Alan Gregg Bayard
 Address 127 Nantahala Ave Athens GA, 30601
 Parcel 163C3 B003
 Zoning RS-8
 Lot Size 9,514 sq ft
 Occupancy Single Family Residential
 Scope Remodel / Addition
 Existing Structure 1 Story on Crawlspace

International Building Code (ICC)
 International Fuel Gas Code (ICC)
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Area Analysis Conditioned Area 1,068 ft²
 Area Analysis Unconditioned 0 ft²
 Area Analysis Porches 54 ft²
 Area Analysis Accessory Structures 202 ft²
 Area Analysis Under Roof 1,122 ft²

EXISTING STRUCTURE

Area Analysis Conditioned Area 1,545 ft²
 Area Analysis Unconditioned 0 ft²
 Area Analysis Porches 117 ft²
 Area Analysis Accessory Structures 0 ft²
 Area Analysis Under Roof 1,662 ft²

PROPOSED STRUCTURE

Area Analysis Conditioned Area 1,262 ft²
 Coverage 17 %

Existing Carport 208 ft²
 Existing Walkway 104 ft²
 Existing Footprint 950 ft²
 Total 2,398 ft²
 Coverage 25 %

PROPOSED LOT COVERAGE

Area Analysis Conditioned Area 550 ft²
 Coverage 6 %
 Proposed Footprint 1,759 ft²
 Terrain Path 89 ft²
 Total 2,398 ft²
 Coverage 25 %

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SHEET INDEX

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 A-16 Details
 E-1 Electrical / RCP
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 A-18 Fixtures / Finish Schedules
 A-19 Existing Elevations / Exteriors

ALAN GREGG BAYARD

Remodel / Addition

127 Nantahala Ave Athens, GA 30601



Revision History

PROJECT INFORMATION

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Area Analysis Conditioned Area	1,068 ft ²
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Area Analysis Porches	54 ft ²
Area Analysis Accessory Structures	202 ft ²
Area Analysis Under Roof	1,122 ft ²

PROPOSED STRUCTURE

Area Analysis Conditioned Area	1,545 ft ²
Area Analysis Unconditioned	0 ft ²
Area Analysis Porches	117 ft ²
Area Analysis Accessory Structures	0 ft ²
Area Analysis Under Roof	1,662 ft ²

EXISTING LOT COVERAGE

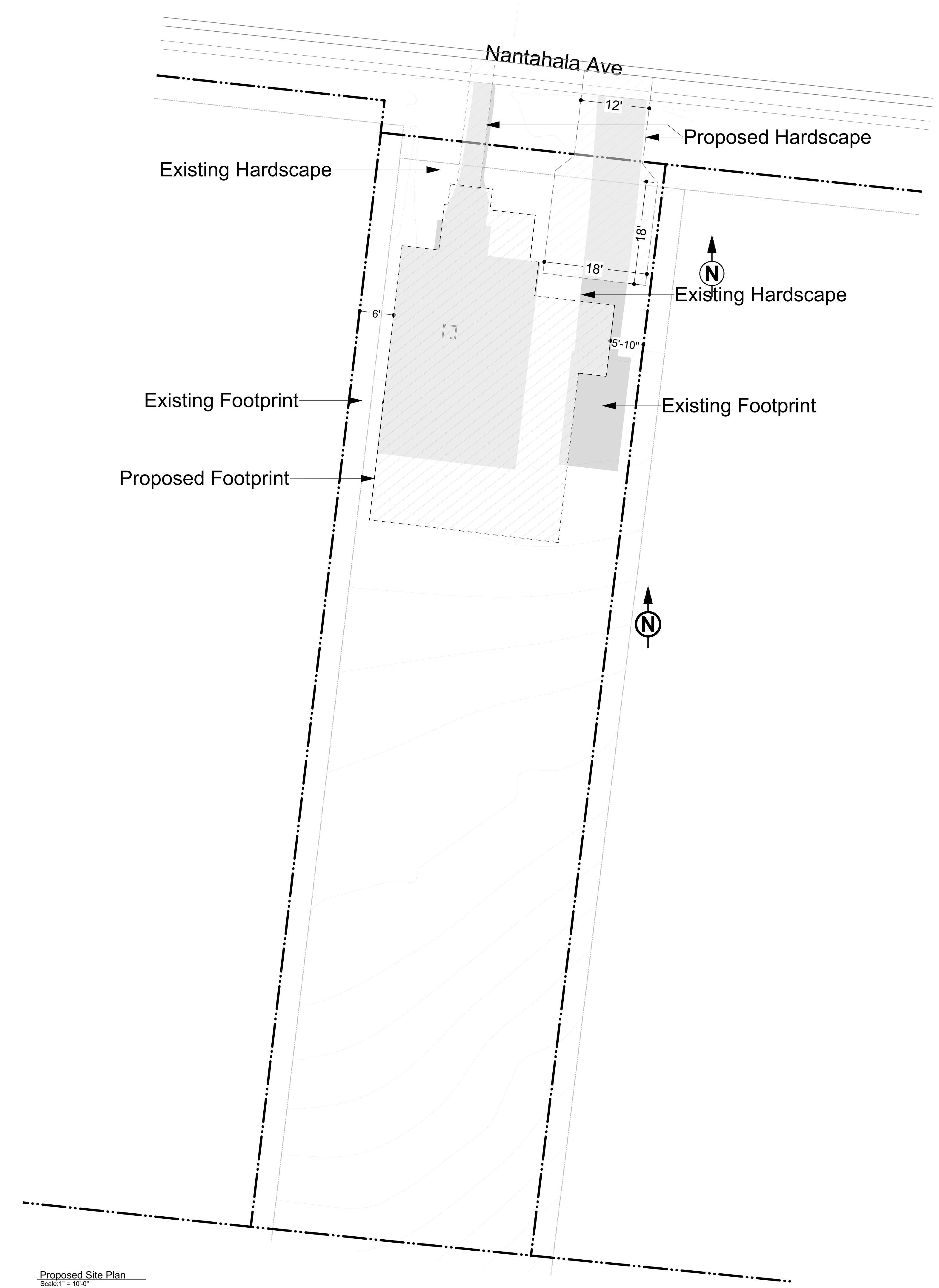
	Area	Coverage
Existing Carport	208 ft ²	2 %
Existing Walkway	104 ft ²	1 %
Existing Footprint	950 ft ²	14 %
Total	1,262 ft ²	17 %

PROPOSED LOT COVERAGE

	Area	Coverage
Driveway	550 ft ²	6 %
Proposed Footprint	1,759 ft ²	18 %
Terrain Path	89 ft ²	1 %
Total	2,398 ft ²	25 %

SITE NOTES

- 1 Verify setbacks and property lines before beginning construction
- 2 Locate and protect all utilities before excavation
- 3 Employ erosion control measures per local requirements



LANE SEABOLT
 LANE@SEABOLTDISIGN

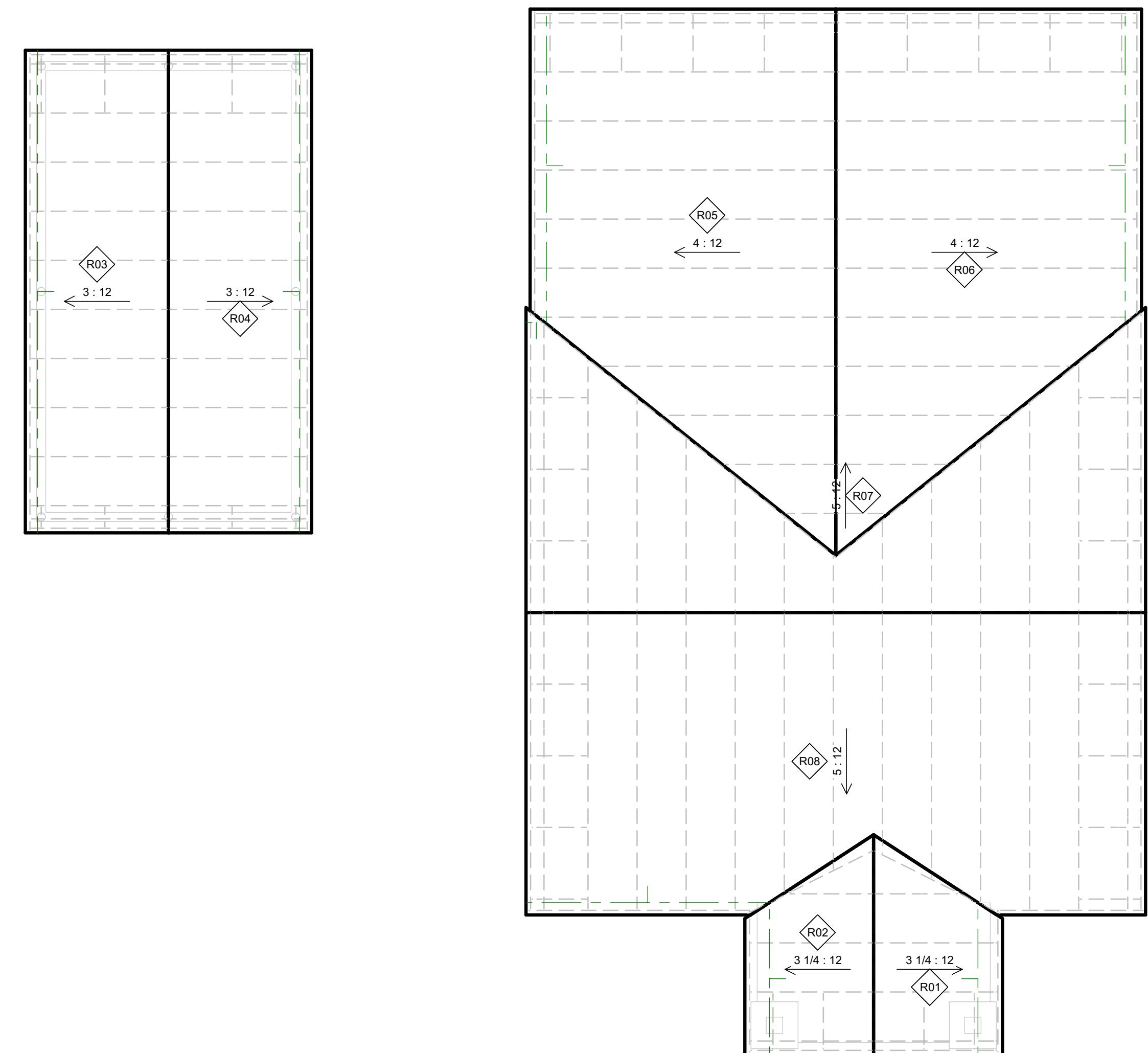
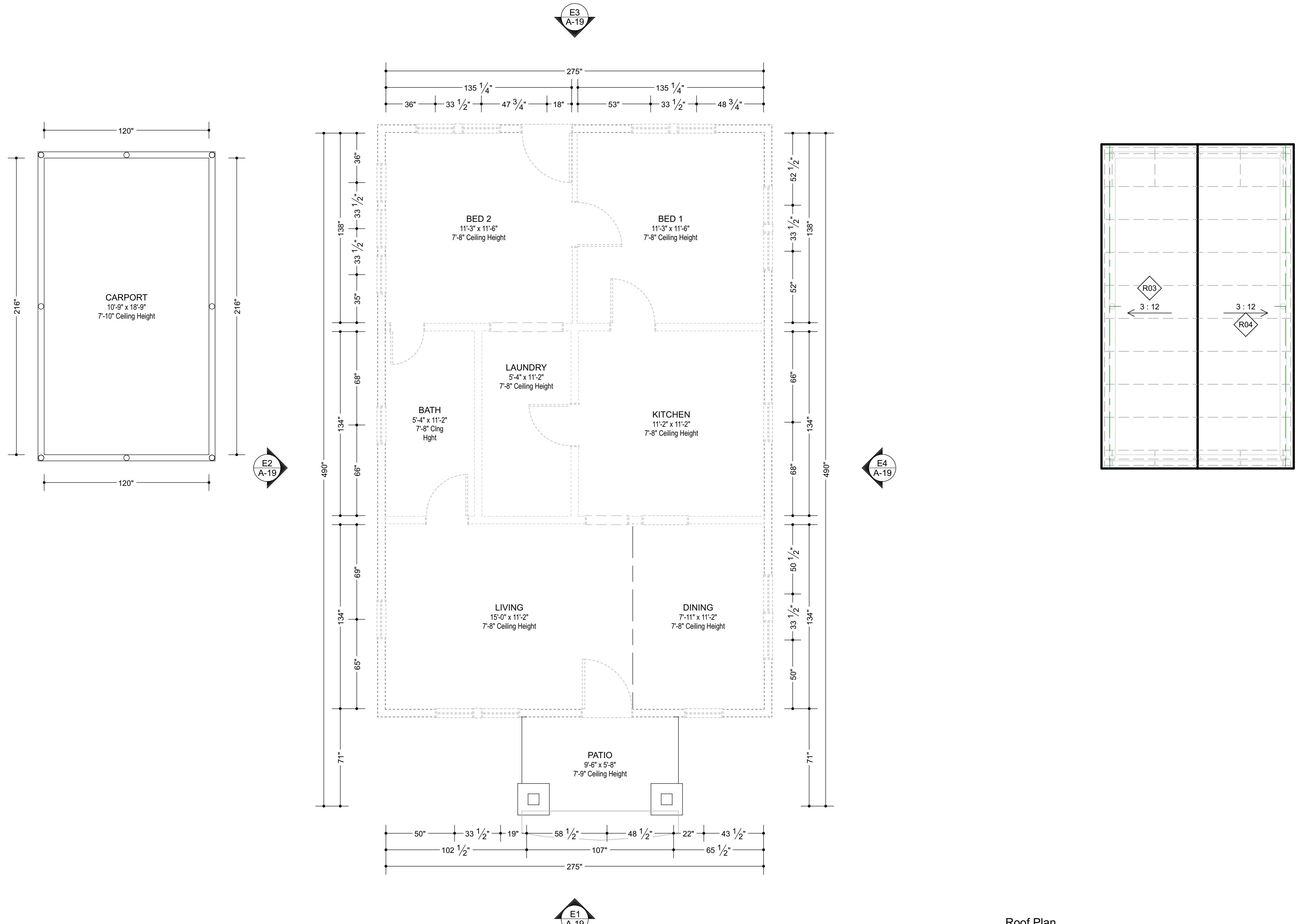
Alan Gregg Bayard
 127 Nantahala Ave
 Athens GA, 30601

Revision History

SITE

10/16/25

G-2



EXISTING/PROPOSED ELEVATIONS

10/16/25

A-2



Existing Elevation Front
Scale: 1/4" = 1'-0"



Elevation Rear
Scale: 1/4" = 1'-0"



Existing Elevation Left
Scale: 1/4" = 1'-0"



Existing Elevation Right
Scale: 1/4" = 1'-0"



Proposed Elevation Front
Scale: 1/4" = 1'-0"



Elevation Rear
Scale: 1/4" = 1'-0"



Proposed Elevation Left
Scale: 1/4" = 1'-0"



Proposed Elevation Right
Scale: 1/4" = 1'-0"



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Athens GA, 30601

Revision History

EXTERIORS

10/16/25

A-3

EXTERIOR NOTES

- 4 Existing window & door locations along facade remain unchanged
- 5 8" fiber cement wrapped columns over masonry bases TME
- 6 Existing aluminum lap siding to remain
- 7 5" fiber cement lap siding on new walls
- 8 8" fiber cement wrapped columns TME tops of front porch columns
- 9 Simulated brick columns over CMU infill TME
- 10 Exterior window & door casing TME
- 11 Architectural asphalt shingles
- 12 5/4 x 6 cornerboards
- 13 New windows / doors TME in lite configuration and materials
- 14 Vertical trim defines the border between historical and new siding



Ortho - Left Front
Scale: 7/64" = 1'-0"

Ortho - Right Front
Scale: 7/64" = 1'-0"

Ortho - Right Rear
Scale: 7/64" = 1'-0"

Ortho - Left Rear
Scale: 7/64" = 1'-0"

ELEVATIONS / EXTERIORS

10/16/25

A-4

Revision History

LANE SEABOLT
LANE@SEABOLTDESIGN
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