

CODE NOTES

Homeowner will take necessary precautions to remove or relocate items of value to be reused and/or saved, which may be in danger of being damaged due to the construction process. Homeowner should discuss any items in or near the work zone with the contractor to assure they are removed or protected.

## DRAWING SYMBOLS

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Contractor is responsible for permitting all phases of work as required by federal, state, county, and municipal law.

Contractor shall furnish and install any and all items required to meet safety codes as required by all applicable federal, state, and local governing ordinances, codes, and regulations. The contractor shall notify owner/designer of any conflict between the drawings and governing codes prior to beginning construction.

Contractor shall furnish and install any and all items required to meet accessibility standards as required by all applicable federal, state, and local governing ordinances, codes, and regulations. The contractor shall notify owner/designer of any conflict between the drawings and governing codes prior to beginning construction.

Client	Alan Gregg Bayard
Address	127 Nantahala Ave Athens, GA, 30601
Parcel	163C3 B003
Zoning	RS-8
Lot Size	9,514 sq ft
Occupancy	Single Family Residential
Scope	Remodel / Addition
Existing Structure	1 Story on Crawlspace

Area Analysis Conditioned Area	1,068 ft²
Area Analysis Unconditioned	0 ft²
Area Analysis Porches	54 ft²
Area Analysis Accessory Structures	202 ft²
Area Analysis Under Roof	1,122 ft²

Area Analysis Conditioned Area	1,545 ft²
Area Analysis Unconditioned	0 ft²
Area Analysis Porches	117 ft²
Area Analysis Accessory Structures	0 ft²
Area Analysis Under Roof	1,662 ft²

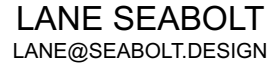
	Area	Coverage
Existing Carport	208 ft²	2 %
Existing Walkway	104 ft²	1 %
Existing Footprint	950 ft²	14 %
<b>Total</b>	<b>1,262 ft²</b>	<b>17 %</b>

	Area	Coverage
Driveway	550 ft²	6 %
Proposed Footprint	1,759 ft²	18 %
Terrain Path	89 ft²	1 %
<b>Total</b>	<b>2,398 ft²</b>	<b>25 %</b>



Label	Title
G-1	Cover Page
A-1	Existing Floor / Roof Plans
A-2	Existing/Proposed Elevations
A-3	Exteriors
A-4	Elevations / Exteriors
A-5	Floor Plan / Overview
A-6	Interior Cutaways
A-7	Interiors
A-8	Overviews
A-9	Foundation Plan
A-10	Floor Plan - Level 01
A-11	Floor Framing - Level 01
A-12	Roof Plan
A-13	Kitchen
A-14	Baths / Laundry
A-15	Sections
A-16	Details
E-1	Electrical / RCP
A-17	Windows & Doors
A-18	Fixtures / Finish Schedules
A-19	Existing Elevations / Exteriors

127 Nantahala Ave Athens, GA 30601



Alan Gregg Bayard  
127 Nantahala Ave  
Athens GA, 30601

## Revision History

**COVER PAGE**

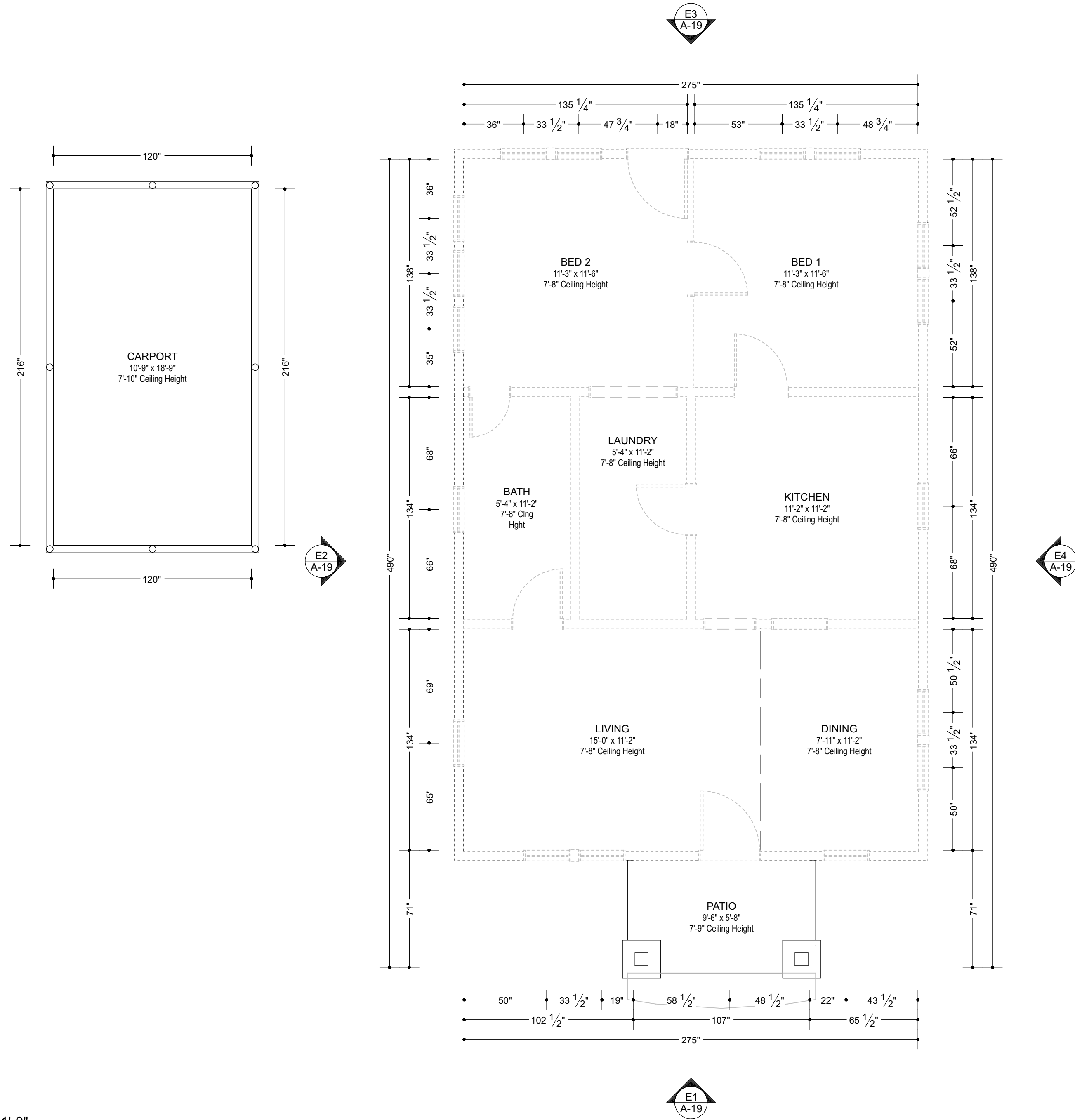
10/16/25

# G-1

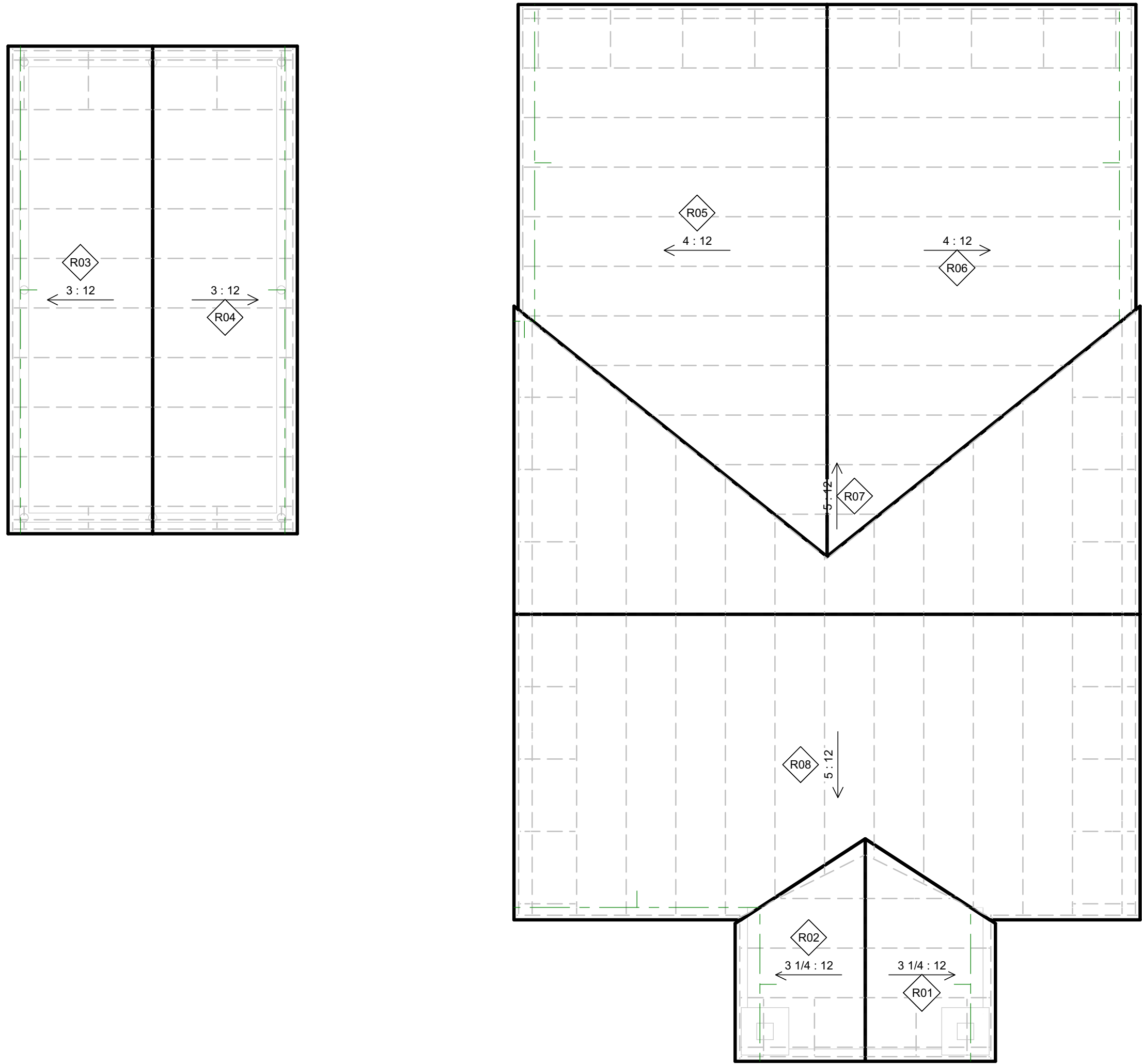




Floor Plan  
Scale: 1/4" = 1'-0"



Roof Plan  
Scale: 1/4" = 1'-0"







Existing Elevation Front  
Scale: 1/4" = 1'-0"



Elevation Rear  
Scale: 1/4" = 1'-0"



Existing Elevation Left  
Scale: 1/4" = 1'-0"



Existing Elevation Right  
Scale: 1/4" = 1'-0"



Proposed Elevation Front  
Scale: 1/4" = 1'-0"



Elevation Rear  
Scale: 1/4" = 1'-0"



Proposed Elevation Left  
Scale: 1/4" = 1'-0"



Proposed Elevation Right  
Scale: 1/4" = 1'-0"





ANE SEABOLT  
ANE@SEABOLT.DESIGN

Alan Gregg Bayard  
127 Nantahala Ave  
Athens GA, 30601

REVISION HISTORY

## EXTERIORS

10/16/25

A-3



EXTERIOR NOTES

- 4
- Existing window & door locations along facade remain unchanged

- 5
- 8" fiber cement wrapped columns over masonry bases TME

- 6
- Existing aluminum lap siding to remain

- 7
- 5" fiber cement lap siding on new walls

- 8
- 8" fiber cement wrapped columns TME tops of front porch columns

- 9
- Simulated brick columns over CMU infill TME

- 10
- Exterior window & door casing TME

- 11
- Architectural asphalt shingles

- 12
- 5/4 x 6 cornerboards

- 13
- New windows / doors TME in lite cofiguration and materials

- 14
- Vertical trim defines the border between historical and new siding



Elevation Front  
Scale:1/4" = 1'-0"



Elevation Rear  
Scale:1/4" = 1'-0"



Elevation Left  
Scale:1/4" = 1'-0"



Elevation Right  
Scale:1/4" = 1'-0"



Ortho - Left Front  
Scale:7/64" = 1'-0"



Ortho - Right Front  
Scale:7/64" = 1'-0"



Ortho - Right Rear  
Scale:7/64" = 1'-0"



Ortho - Left Rear  
Scale:7/64" = 1'-0"