

DISCLAIMER

To the best of our knowledge these plans are drawn to comply with the homeowner's and/or contractor's specifications and any changes made on them after prints are made will be done at the homeowner's and/or contractor's expense and responsibility. The contractor shall verify all dimensions and enclosed drawings. Shot House Studios, LLC, is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, Shot House Studios, LLC, can not guarantee against human error. The contractor must check all dimensions and other details prior to construction and be solely responsible thereafter.

These drawings are the proprietary product and property of Shot House Studios, LLC., developed for the exclusive use of the homeowner and/or contractor named on the permit documents. Use of these drawings and concepts contained therein without the written permission of Shot House Studios, LLC, is prohibited and may subject you to a claim.

Homeowner will take necessary precautions to remove or relocate items of value to be reused and/or saved, which may be in danger of being damaged due to the construction process. Homeowner should discuss any items in or near the work zone with the contractor to assure they are removed or protected.

CODE NOTES

Latest editions of the following Georgia State Minimum Standard Codes:

International Building Code (ICC)
(with Appendix D: Fire District)

International Mechanical Code (ICC)

International Fuel Gas Code (ICC)

International Property Maintenance Code. (ICC)

National Electrical Code (NFPA)

International Plumbing Code (ICC)

International Energy Conservation Code (ICC)

International Residential Code for One and Two-Family Dwellings (ICC)

International Existing Building Code (ICC)

International Swimming Pool and Spa Code (ICC)

PROJECT INFORMATION

Address 850 Boulevard Athens GA, 30601

Client Karen Payne

Parcel 114 D1G10

Zoning RS-15

Lot Size

Occupancy Single Family Residential

Scope Remodel / Addition

Existing Structure 1 Story / Crawl

Proposed Structure 1 Story w/ Loft / Crawl

EXISTING LOT COVERAGE

	Area	Coverage
Existing Footprint	1562 ft²	Error
Existing Concrete Walkway	29 ft²	Error
Existing Accessory	727 ft²	Error
Existing Brick Walkway	154 ft²	Error
Existing Driveway	123 ft²	Error
Existing Rear Walkway	67 ft²	Error
Total	2662 ft²	Error

PROPOSED LOT COVERAGE

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Proposed Footprint	1593 ft²	Error
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ABBREVIATIONS

@ at

Pound or Number

A.B. Anchor Bolt

A.F.F. Above Finish Floor

A.F.G. Above Finish Grade

BLKG Blocking

BM. Beam

B.O. Bottom Of

C.I. Contractor Installed

C.F. Contractor Furnished

CLF. Clear

CLNG. Ceiling

CONT. Continuous

COL. Column

DIA. Diameter

DET. Detail

D.F. Douglas Fir

DBL. Double

(E) Existing

EA. Each

EQ. Equal

E.W. Each Way

FIN. Finish

F.O. Face Of

FT. Foot or Feet

HDR. Header

HT. Height

JST. Joist

MAX. Maximum

M.B. Machine Bolt

MIN. Minimum

MTD. Mounted

N.I.C. Not In Contract

(N) New

NOM. Nominal

N.T.S. Not To Scale

O. Over

O.A. Overall

O.F. Outside Face

O.C. On Center

O.I. Owner Installed

OPP. Opposite

PL. Plate or Property line

PLY. Plywood

PTD. Painted

P.T. Pressure Treated

REINF. Reinforced

RET. Retaining

R.O. Rough Opening

RWD. Redwood

S.F. Square Feet

S.S.D. See Structural Drawings

SHTG. Sheathing

SHT. Sheet

SIM. Similar

SQ. Square

STD. Standard

STE. Similar To Existing

STR. Structural

T.B.D. To Be Determined

T.B.R. To Be Removed

T.O. Top of

TYP. Typical

V.I.F. Verify in Field

W. With

W.O. Where Occurs

W/O. Without

U.N.O. Unless Noted Otherwise

DRAWING SYMBOLS

1 Keynote

2 Window

3 Door

4 Cabinet

E5 Electrical Fixture

P6 Plumbing Fixture

7 A-2 Detail #

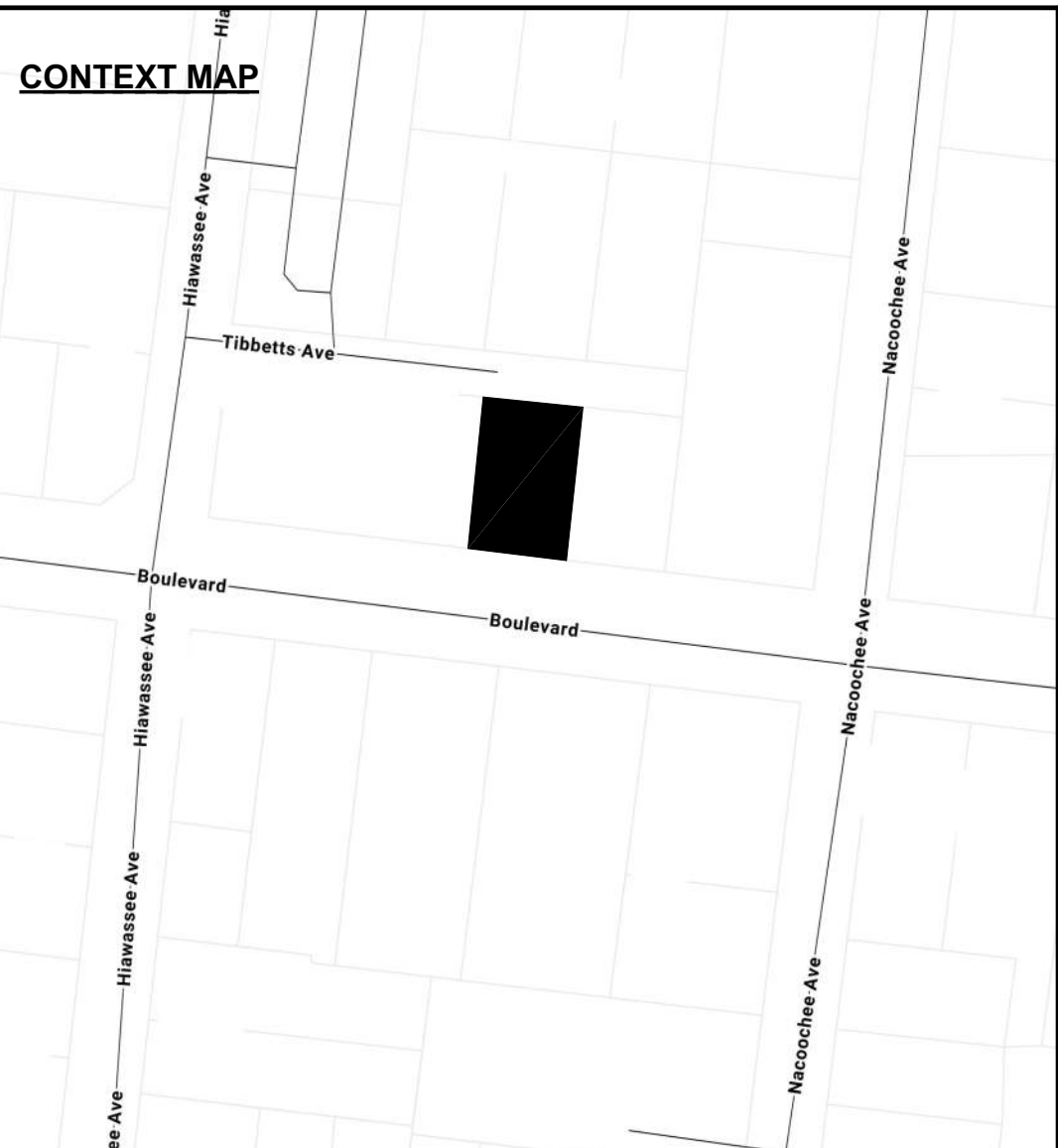
8 A-2 Sheet

9 A-2 Section #

10 A-2 Sheet

Wall Elevation #

Sheet



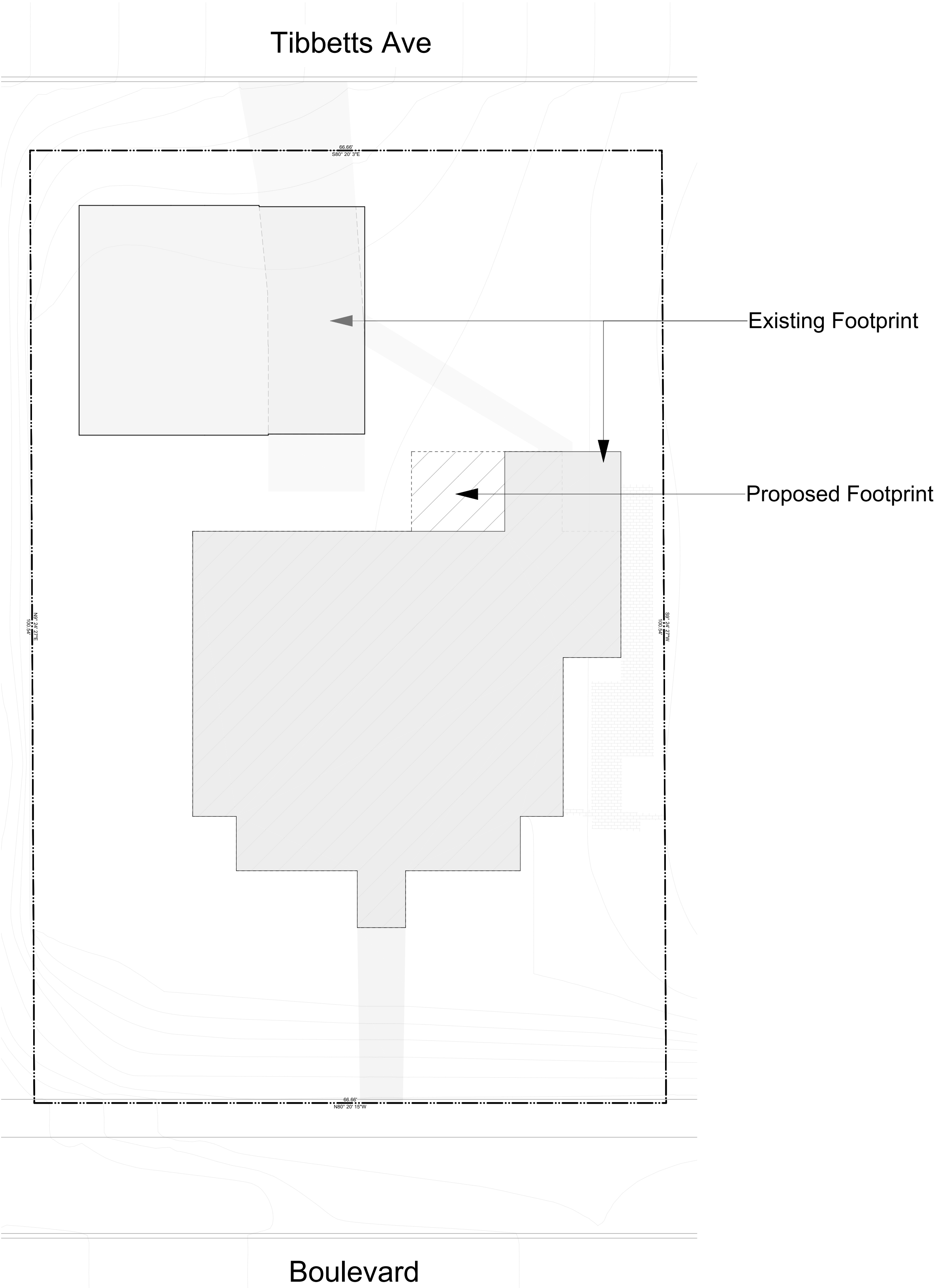
GENERAL NOTES

- Contractor shall carefully study and compare the construction documents and shall at once report to Owner/Designer any error, inconsistency, or omission found. Contractor shall perform no portion of the work at any time without construction documents, or where required, approved shop drawings, product data, or samples for such portion of the work.
- Contractor shall verify that site conditions are consistent with these plans before starting work. Designer shall be consulted for clarification if site conditions are encountered that are different than shown, if discrepancies are found in the plans or notes, or if a question arises over the intent of the plans or notes. Work not specifically detailed shall be constructed to the same quality as similar work detailed herein.
- Contractor to coordinate all construction and design documents supplied by Designer. Any construction work pertaining to HVAC systems, security systems, special electrical requirements, etc., shall be handled by Owner's specific vendors.
- Unless otherwise provided in contract documents, contractor to provide and pay for all permits, labor, construction, equipment, and machinery, tools, transportation, and other facilities and services necessary for proper execution and completion of work. Contractor to pay all sales, consumer, use and other similar taxes for work, or portions thereof provided by Contractor, which are legal at time of construction.
- Contractor shall supervise and direct the work, using contractors best skill and attention. Contractor to be solely responsible for all construction means, methods, techniques, sequences, and procedures, and shall coordinate all portions of the work.
- Contractor shall be responsible to Owner for the acts and omissions of the contractors employees, subcontractors, and their agents and employees, and other persons performing any of the work under a contract with Contractor.
- Contractor warrants to Owner that all equipment and materials furnished under this contract will be new, unless otherwise specified, and all work will be of good quality, free from faults and defects, and in conforming with contract documents. All work, not conforming to these requirements, including substitutions, not properly approved and authorized, maybe considered defective and will be removed and replaced at Contractor's expense.
- Contractor will be presumed to have inspected and to have read and to be thoroughly familiar with the construction documents. Failure or omission of any Contractor to examine any form, instrument or document shall in no way, relieve the Contractor from any obligation.
- Where special items time preventing installation by projected move-in date, Contractor is to propose an available alternate for approval by Owner/Designer as well as to prepare pricing for possible temporary assemblies and/or finishes.
- Contractor to verify size, location, and characteristic of all mechanical and electrical equipment and prepare all surfaces accordingly.
- Contractors shall notify Owner/Designer immediately if they cannot comply with all notes called for on all documents and drawings prior to construction.
- All joints, edges, punctures and penetrations in Vapor Barrier to be sealed with vapor tape to maintain the integrity of the Vapor Barrier.
- 2) Seal entire perimeter at each window unit with insulation and vapor barrier.
- Flashing to be installed at all exterior openings, including window and door heads and sills and shall be installed to be waterproof.
- All wall surfaces are to be made flush and smooth prior to painting or installation of wall covering.
- Insulate all floors, walls and ceilings surrounding bathrooms for sound.
- All interior finishes to have a Class B flame spread rating in accordance with IBC.
- Fireplaces to have spark arrestors and approved damper. Provide minimum 2" clearance from combustible material. All fireplace surrounds and hearth to be non-combustible materials such as marble, granite or ceramic tile.
- All finishes, specified, or not, shall be approved by owner/designer for suitability prior to application.
- Plan views dimensioned from exterior face of framing (excluding sheathing & finishes), to face of interior wall framing (excluding interior wall finishes) and center of openings U.N.O.
- Exterior Elevations dimensioned to face of structural elements U.N.O.
- Interior Wall Elevations dimensioned from wall and ceiling finish surfaces and from top of subfloors U.N.O.
- All wall angles are either 90° or 45° U.N.O.
- Written dimensions and specific notes shall take precedence over scaled dimensions and general notes. Contractor shall verify and is responsible for all dimensions.
- Rough Openings are not accounted for or called out in these plans, and as such shall be verified by the Contractor with window & door manufacturers before framing begins.
- Window & door header/sill heights listed herein are measured to the exterior of window & door frames. Contractor shall verify proper elevation of windows & doors throughout framing and installation process.
- Contractor is responsible for permitting all phases of work as required by federal, state, county, and municipal law.
- Contractor shall furnish and install any and all items required to meet safety codes as required by all applicable federal, state, and local governing ordinances, codes, and regulations. The contractor shall notify owner/designer of any conflict between the drawings and governing codes prior to beginning construction.
- Contractor shall furnish and install any and all items required to meet accessibility standards as required by all applicable federal, state, and local governing ordinances, codes, and regulations. The contractor shall notify owner/designer of any conflict between the drawings and governing codes prior to beginning construction.

KAREN PAYNE

Remodel / Addition

850 Boulevard Athens, GA 30601





LANE SEABOLT
LANE@SEABOLT.DESIGN

Melisa Holmes & Steve Vermillion
145 Woodland Way
Athens GA, 30606

Revision History

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	9/3/25
2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	
6	REVISION	
7	REVISION	
8	REVISION	
9	REVISION	
10	REVISION	

COVER PAGE

9/3/25

G-1

PROJECT INFORMATION

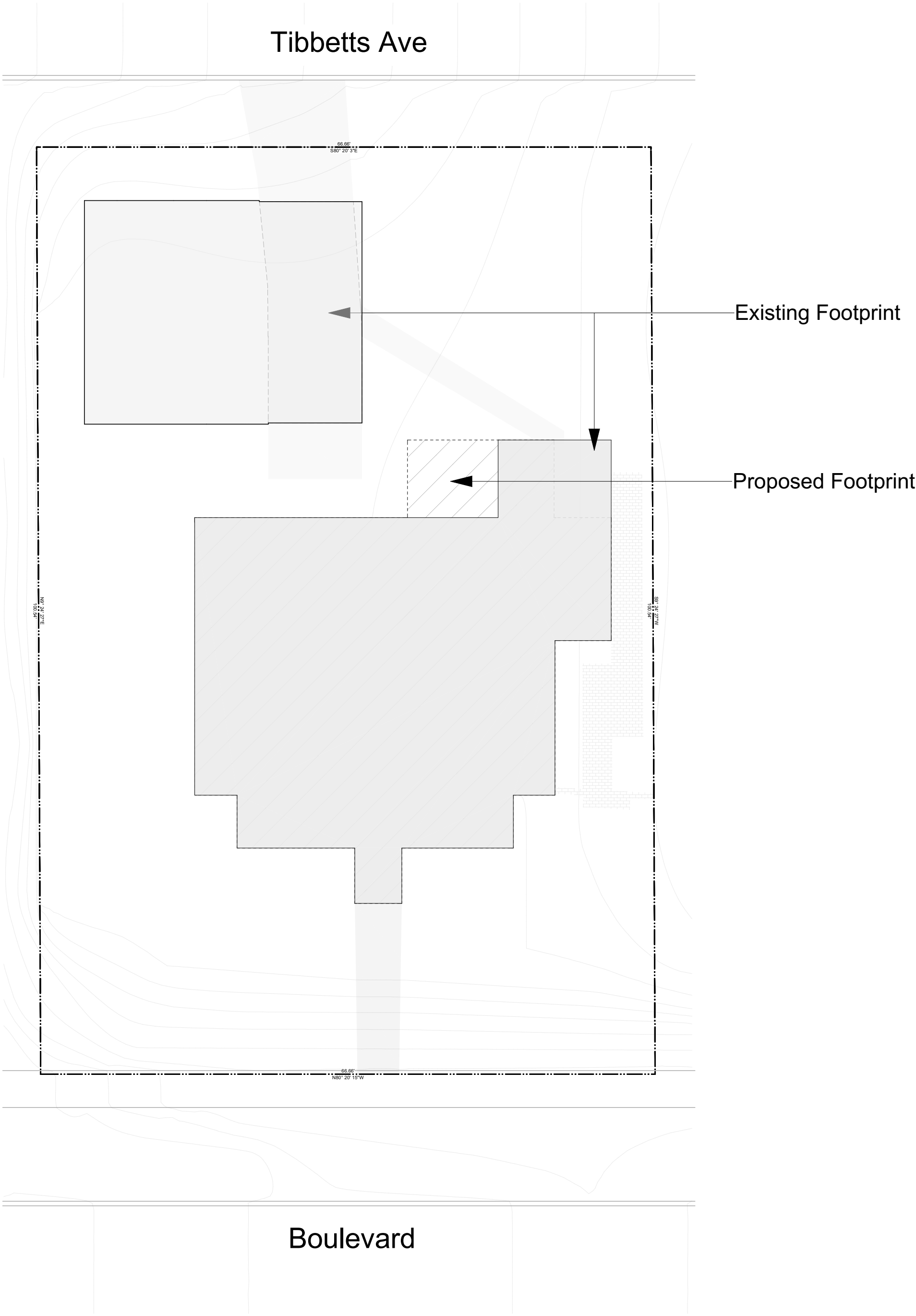
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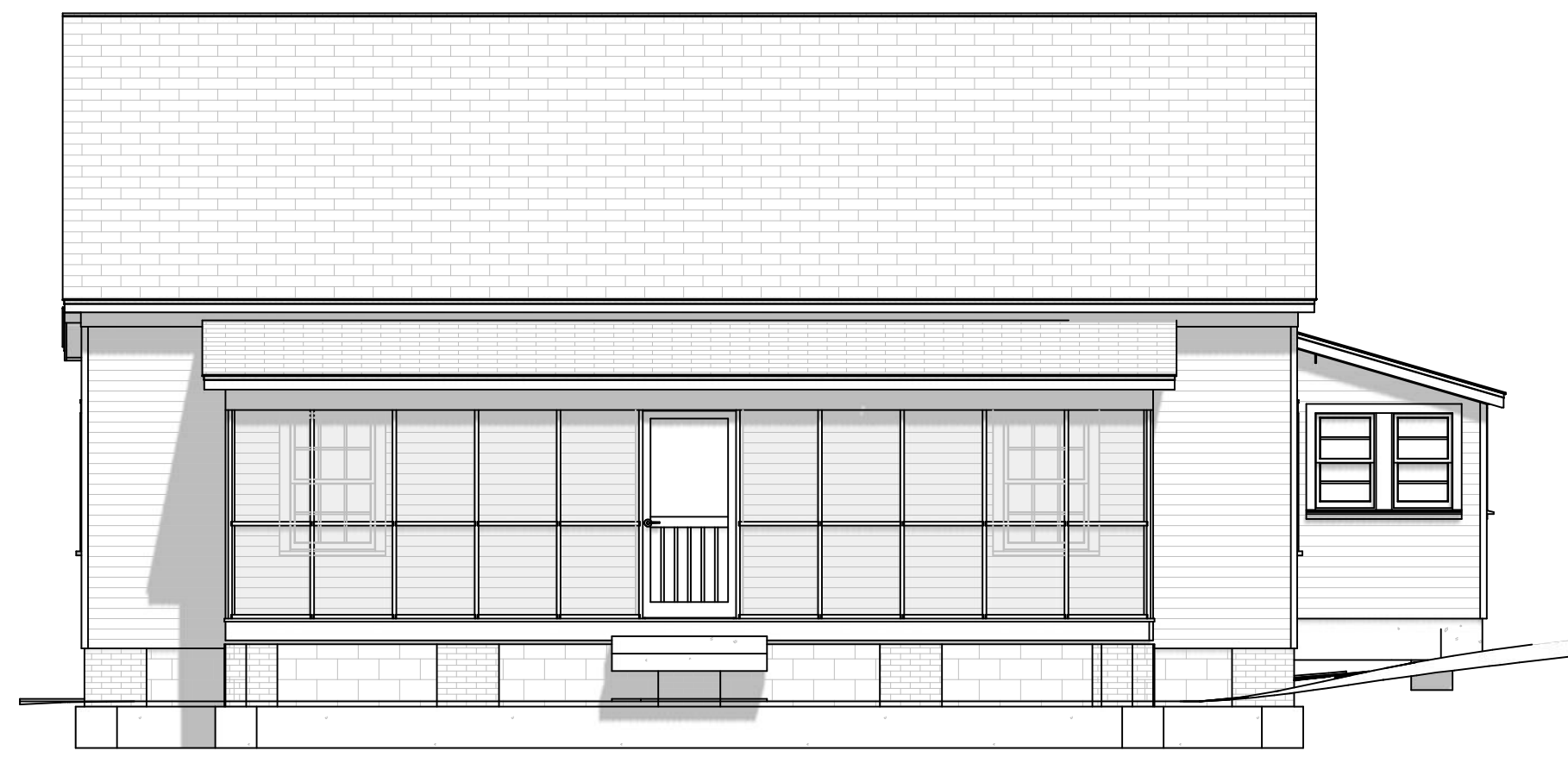
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Plot Plan
Scale: 1" = 10'-0"



Melisa Holmes & Steve Vermillion
145 Woodland Way
Athens GA, 30606

Revision History

EXISTING / PROPOSED EXTERIORS

9/3/25

A-1

EXTERIOR NOTES

- 5
- Proposed gable roof to match gable over existing kitchen
- 6
- Proposed new deck
- 7
- Proposed double window to replace existing single. Lites to match windows on front of house (3/2)
- 8
- Proposed window to replace existing louvered gable vent. Lites to match windows on front of house (3/2)
- 9
- Proposed windows to replace existing addition windows. Lites to match windows on front of house (3/2)
- 10
- Proposed window to replace existing single. Lites to match windows on front of house (3/2)
- 11
- Proposed standing seam metal roof over new deck
- 12
- Proposed standing seam metal roof to replace existing roofing on 1:12 shed roof



Front Elevation
Scale:1/4" = 1'-0"



Left Elevation
Scale:1/4" = 1'-0"

ROOF NOTES

- 19
- Proposed standing seam metal roof over new deck
- 20
- Proposed standing seam metal roof to replace existing roofing on 1:12 shed roof
- 21
- Proposed standing seam metal roof on gable roof over accessory shed to match standing seam on carport and to support installation of solar panels
- 22
- Previously approved standing seam metal roof (under construction)
- 23
- Proposed Solar Panels
- 24
- Proposed gable roof to match gable over existing kitchen



Back Elevation
Scale:1/4" = 1'-0"



Right Elevation
Scale:1/4" = 1'-0"



LANE SEABOLT
LANE@SEABOLT.DESIGN

Melisa Holmes & Steve Vermillion
145 Woodland Way
Athens GA, 30606

Revision History

PROPOSED EXTERIORS

9/3/25

A-2

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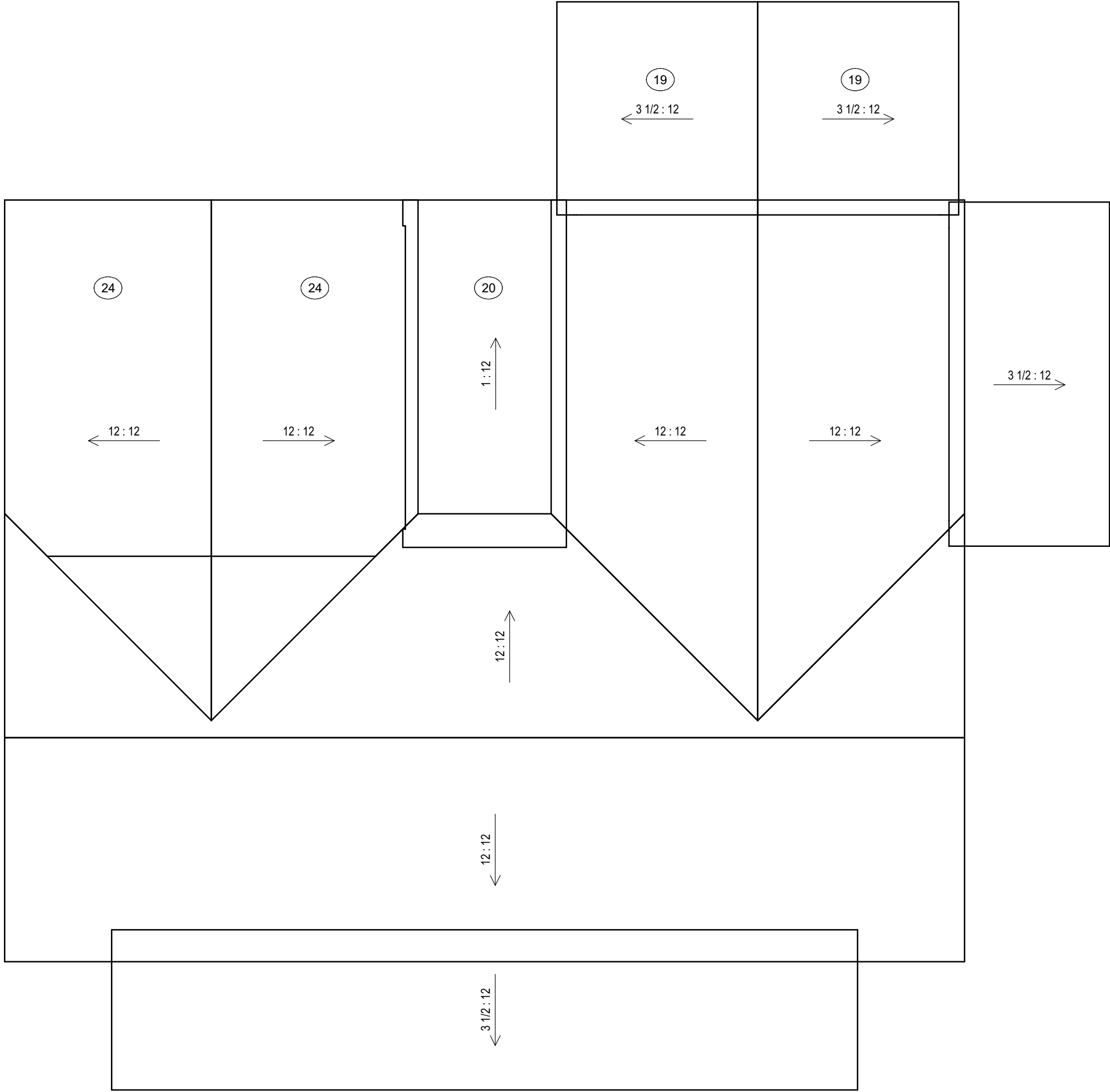
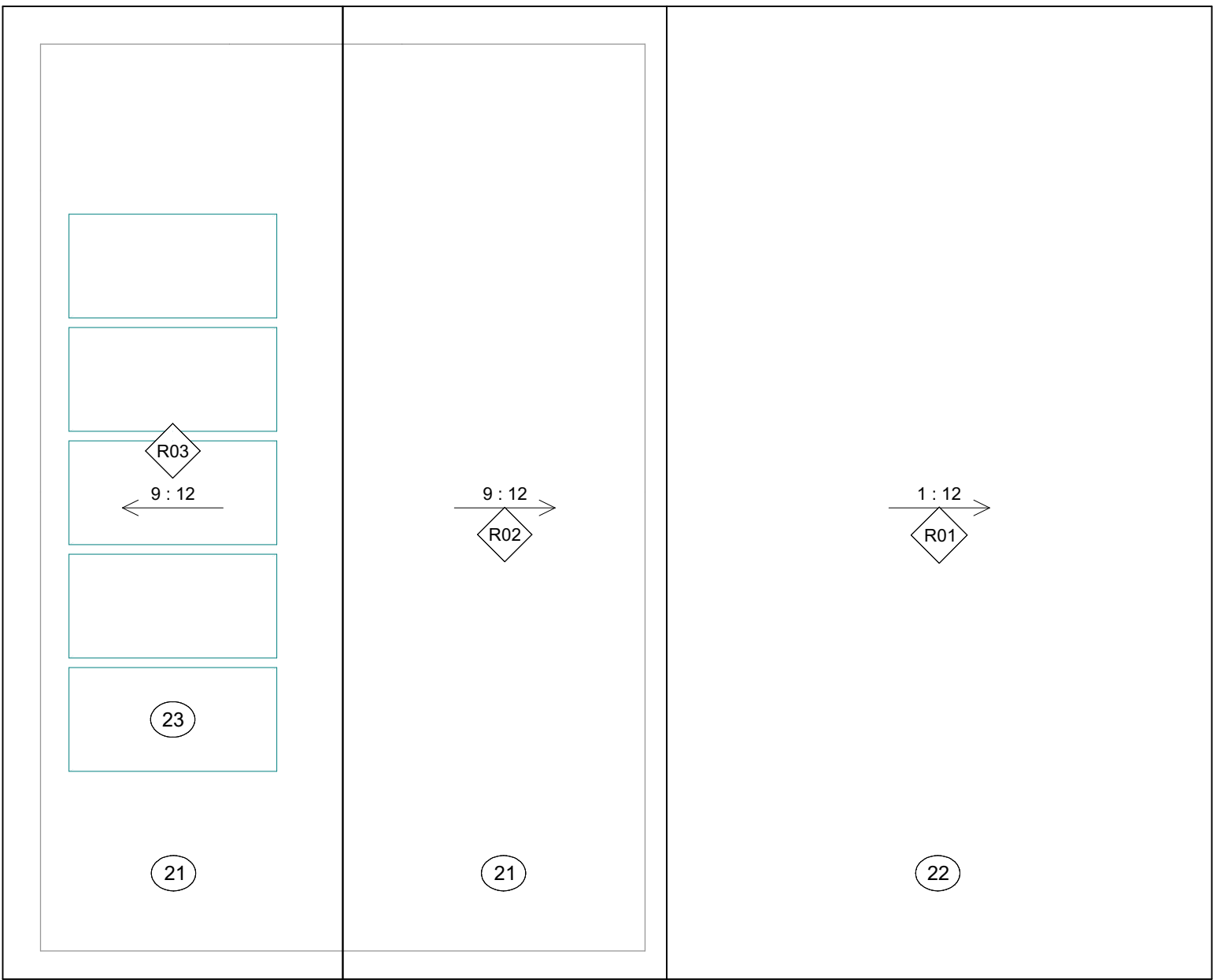
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815 Blvd Solar Panels - View from Blvd



815 Blvd Solar Panels - View from 850 Blvd Front Yard





Existing Perspective - Back Left



Existing Perspective - Back



Existing Perspective - Back Right



Proposed Perspective - Back Right



Proposed Perspective - Back



Proposed Perspective - Back Left