

To the best of our knowledge these plans are drawn to comply with the homeowner's and/or contractor's specifications and any changes made on them after prints are made will be done at the homeowner's and/or contractor's expense and responsibility. The contractor shall verify all dimensions and enclosed drawings. Shot House Studios, LLC is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, Shot House Studios, LLC. can not guarantee against human error. The contractor must check all dimensions and other details prior to construction and be solely responsible thereafter.

These drawings are the proprietary product and property of Shot House Studios, LLC., developed for the exclusive use of the homeowner and/or contractor named on the permit documents. Use of these drawings and concepts contained therein without the written permission of Shot House Studios, LLC. is prohibited and may subject you to a claim.

Homeowner will take necessary precautions to remove or relocate items of value to be reused and/or saved, which may be in danger of being damaged due to the construction process. Homeowner should discuss any items in or near the work zone with the contractor to assure they are removed or protected.

Latest editions of the following Georgia State Minimum Standard Codes:

- International Building Code (ICC)
- (with Appendix D: Fire District)
- International Mechanical Code (ICC)
- International Fuel Gas Code (ICC)
- International Property Maintenance Code (ICC)
- National Electrical Code (NFPA)
- International Plumbing Code (ICC)
- International Energy Conservation Code (ICC)
- International Residential Code for One and Two-Family Dwellings (ICC)
- International Existing Building Code (ICC)
- International Swimming Pool and Spa Code (ICC)

Client	Andrew Malec
Address	1130 Boulevard Athens GA, 30601
Parcel	114C2 G011
Lot Size	7680 sq ft
Zoning	RS-8
Occupancy	Single Family Residential
Scope	New Construction
Existing Structure	1 Story O/ Crawlspce, Detached Garage
Proposed Structure	2 Story O/ Crawlspace, Detached Garage

Level 01 - Conditioned	
Level 02 - Conditioned	
Total Conditioned Area	
Decks & Porches	
Area Under Roof	

Level 01 - Conditioned	1,689 ft²
Level 02 - Conditioned	1,066 ft²
Total Conditioned Area	2,755 ft²
Decks & Porches	386 ft²
Garage	494 ft²

Description	Area	Coverage %
Existing Driveway		3 %
Existing Stairs		1 %
Totals:		4 %

Description	Area	Coverage
House	2,053 ft²	27 %
Garage	494 ft²	6 %
Hardscape	758 ft²	10 %
Existing Stairs	105 ft²	1 %
Totals:		44 %

@	at
#	Amount or Number
A.B.	Anchor Bolt
A.F.F.	Above Finish Floor
A.F.G.	Above Finish Grade
BLKG	Blocking
BM	Beam
B.O.	Bottom Of
C.I.	Contractor Installed
C.F.	Clear
CLG.	Ceiling
CONT.	Continuous
COL.	Column
DIA.	Diameter
DET.	Detail
D.F.	Douglas Fir
DBL.	Double
(E)	Existing
EA	Each
EQ.	Equal
E.W.	Each Way
F.	Finish
F.O.	Face Of
FT	Foot or Feet
HDR.	Header
HT	Height
JST	Joist
MAX.	Maximum
M.B.	Machine Bolt
MIN	Minimum
(M)	Mounted
NTD	Not In Contract
N.I.C.	New
NOM	Nominal
N.T.S.	Not To Scale
O	Over
O/A	Overall
O.F.	Outside Face
O.C.	On Center
O.P.	Owner Installed
OPP.	Opposite
PL	Plate or Property line
PLY.	Plywood
PTD	Painted
P.T.	Pressure Treated
REINF	Reinforced
RET	Retaining
R.O.	Rough Opening
R.W.	Redwood
S.F.	Square Feet
S.S.D.	See Structural Drawings
SHT.	Sheathing
SHT.	Sheet
SIMT	Similar
SO.	Square
STD.	Standard
STE	Similar To Existing
STR.	Structural
T.B.D.	To Be Determined
T.B.R.	To Be Removed
T.O.	Top of
TYP.	Typical
V.I.F.	Verify in Field
W.	With
W.O.	Where Occurs
W/O	Without
U.N.O.	Unless Noted Otherwise

A black triangle with a blue number 2 inside.

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P6

E7

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[A-2]

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Contractor shall carefully study and compare the construction documents and shall at once report to Owner/Designer any error, inconsistency, or omission found. Contractor shall perform no portion of the work at any time without construction documents, or where required, approved shop drawings, or other documents, as may be required.

Contractor shall verify that site conditions are consistent with these plans before starting work. Designer shall be consulted for clarification if site conditions are encountered that are different than shown, if discrepancies are found in the plans or notes, or if a question arises over the intent of the contract documents. The Contractor shall be responsible for the quality of the work.

Contractor to coordinate all construction and design documents supplied by Designer. Any construction work pertaining to HVAC systems, security systems, special electrical requirements, etc. shall be handled by Owner's specific vendors.

Contractor shall be responsible for the cost of materials and pay for all permits, labor, construction, equipment, and machinery, tools, transportation, and other facilities and services necessary for proper execution and completion of work. Contractor to pay all sales, consumer, use and other similar taxes for work, or portions thereof provided by Contractor, which are legal at time of construction.

Contractor shall be responsible for the cost of the work, using correct construction best skill and attention. Contractor to be solely responsible for all construction means, methods, techniques, sequences, and procedures, and shall coordinate all portions of the work.

Contractor shall be responsible to Owner for the acts and omissions of the contractor's employees, subcontractors, and their agents and employees, and shall be responsible for the acts and omissions of the contractor's employees, subcontractors, and their agents and employees.

Contractor warrants to Owner that all equipment and materials furnished under this contract will be new, unless otherwise specified, and all work will be of good quality, free from faults and defects, and in conforming with construction documents. All work, not conforming to these requirements, including but not limited to, work that is defective, defective work, or work that is considered defective and will be removed and replaced at Contractor's expense.

Contractor will be presumed to have inspected and to have read and to be thoroughly familiar with the construction documents. Failure or omission of any Contractor to examine any form, instrument or document shall in no way, relieve the Contractor from any obligation.

Contractor shall be responsible for the cost of the work, using correct construction best skill and attention. Contractor is to propose an alternate for approval by Owner/Designer as well as to prepare pricing for possible temporary assemblies and/or finishes.

Contractor to verify size, location, and characteristic of all mechanical and electrical equipment and prepare all surfaces accordingly.

Contractor shall notify Owner/Designer immediately if they cannot comply with all notes called for on all documents and drawings prior to construction.

All joints, edges, punctures and penetrations in Vapor Barrier to be sealed with vapor tape to maintain the integrity of the Vapor Barrier.

All joints, edges, punctures and penetrations in window and door frames shall be sealed with a waterproofing membrane.

Flashing to be installed at all exterior openings, including window and door heads and sills and shall be installed to be waterproof.

All wall surfaces are to be made flush and smooth prior to painting or installation of wall covering.

Interior walls, floors, and ceilings surrounding bathrooms for sound.

All interior finishes to have a Class B flame spread rating in accordance with IBC.

Fireplaces to have spark arrestors and approved draft. Provide minimum 2" clearance from combustible material. All fireplace surroundings and hearths to be non-combustible materials and meet all applicable codes.

All finishes, specified, or not, shall be approved by owner/designer for suitability prior to application.

Plan views dimensioned from exterior face of framing (excluding sheathing & finishes), to face of interior wall framing (excluding interior wall finishes) and center of openings U.O.

Exterior Elevations dimensioned to face of structural elements U.O.

Interior Wall Elevations dimensioned from finished floor surfaces and from top of subfloors U.O.

All wall angles are either 90° or 45° U.O.

Written dimensions and specifications shall take precedence over sized dimensions and general notes. Contractor shall verify and is responsible for all dimensions and specifications.

Rough Openings are not accounted for or called out in these plans, and as such shall be verified by the Contractor with window & door manufacturers before framing begins.

Finish floor heights listed herein are measured to the exterior of window & door frames. Contractor shall verify proper elevation of windows & doors throughout framing and installation process.

Contractor is responsible for permitting all phases of work as required by federal, state, county, and municipal law.

Contractor shall furnish and install any and all items required to meet safety codes as required by all applicable federal, state, and local governing ordinances, codes, and regulations. The contractor shall notify owner/designer of any conflict between the drawings and governing codes prior to construction.

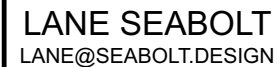
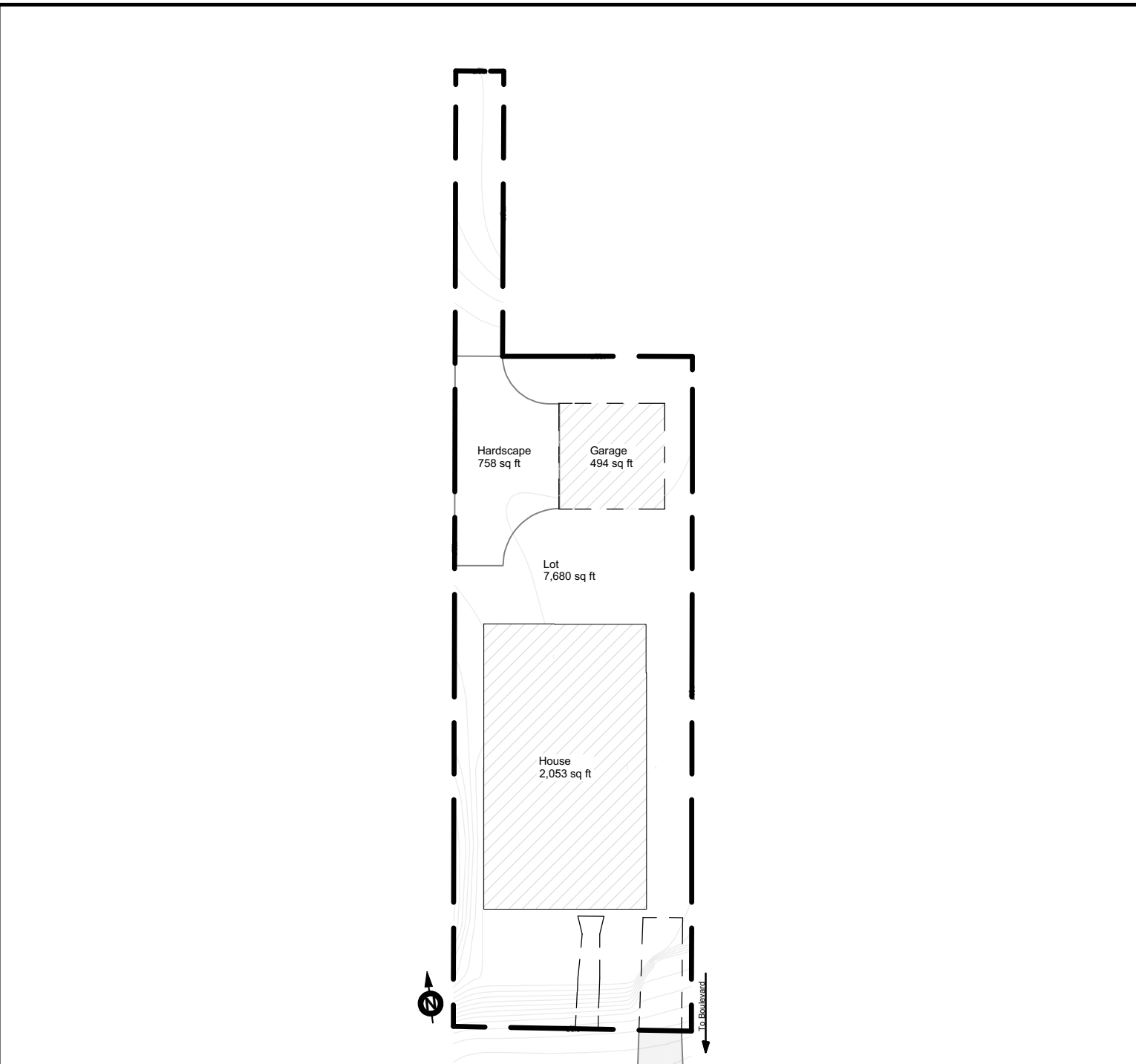
Contractor shall furnish and install any and all items required to meet accessibility standards as required by all applicable federal, state, and local governing ordinances, codes, and regulations. The contractor shall notify owner/designer of any conflict between the drawings and governing codes prior to construction.

Label	Title
G-1	Cover Page
A-1	Former House - Exterior
A-2	Site
A-3	Proposed Elevations
A-4	Exteriors
A-5	Orthographic Overviews
A-6	Floor Overviews
A-7	Layout
A-8	Floor Plan
A-9	Roof Plan
A-10	Interiors
A-11	Interiors - Level 02
A-12	Fenestration Overview
A-13	Kitchen Plan and Elevations
A-14	Cabinet Schedules
A-16	Cross Section and Details
A-17	test
E-1	Electrical

**Residential New Construction**  
1130 Boulevard  
Athens, GA 30601



The map displays a network of streets in a neighborhood. Key streets include Sylvia Ck, Jefferson Ck, Pound St, Boulevard, Nantahala Extension, Buena Vista Ave, Satula Ave, Yonah Ave, Boulevard Heights, Prince Ave, Charles Cir, Peoples Rd, Fox Rd, Keale St, Easy St, and Park Ave. A shaded rectangular area is located on Buena Vista Ave, bounded by Nantahala Extension to the north and Keale St to the south.



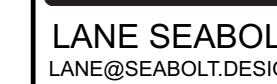
**ANDREW MALEC**  
Residential New Construction  
1130 Boulevard  
Athens GA, 30601

## Revision History

**COVER PAGE**

4/2/25

# G-1



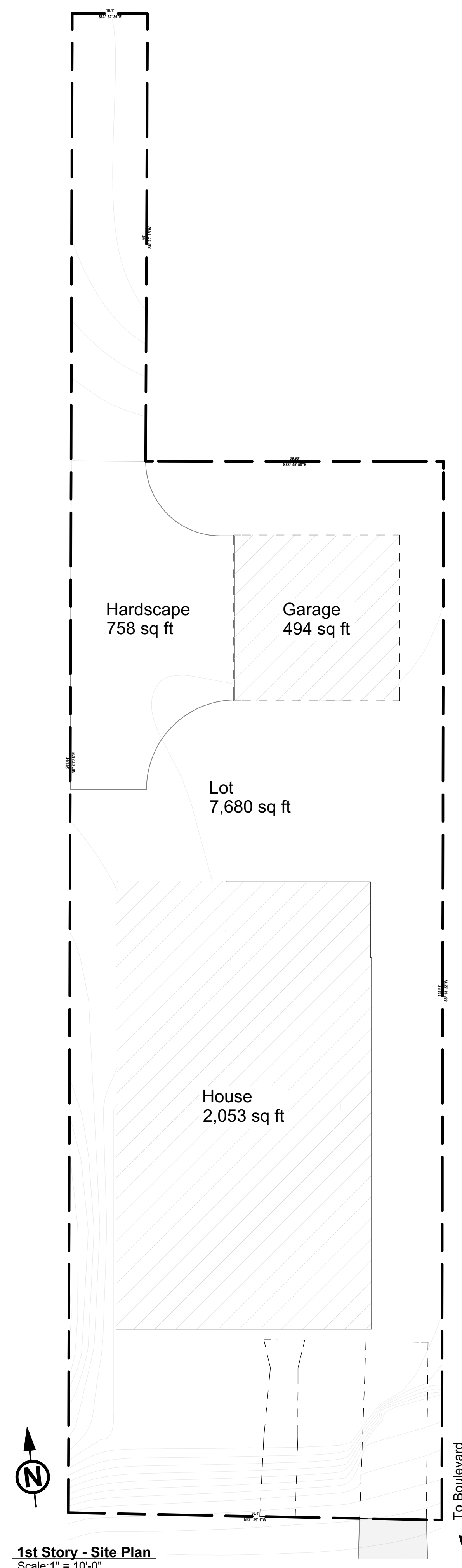
**ANDREW MALEC**  
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1130 Boulevard  
Athens GA. 30601

Revision History

## SITE

4/2/25

**A-2**



**1st Story - Site Plan**  
Scale: 1" = 10'-0"



**Proposed Front Elevation**  
Scale: 1/4" = 1'-0"



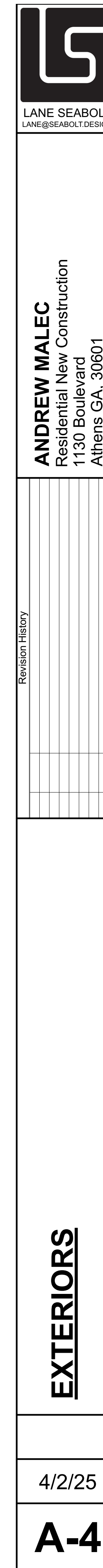
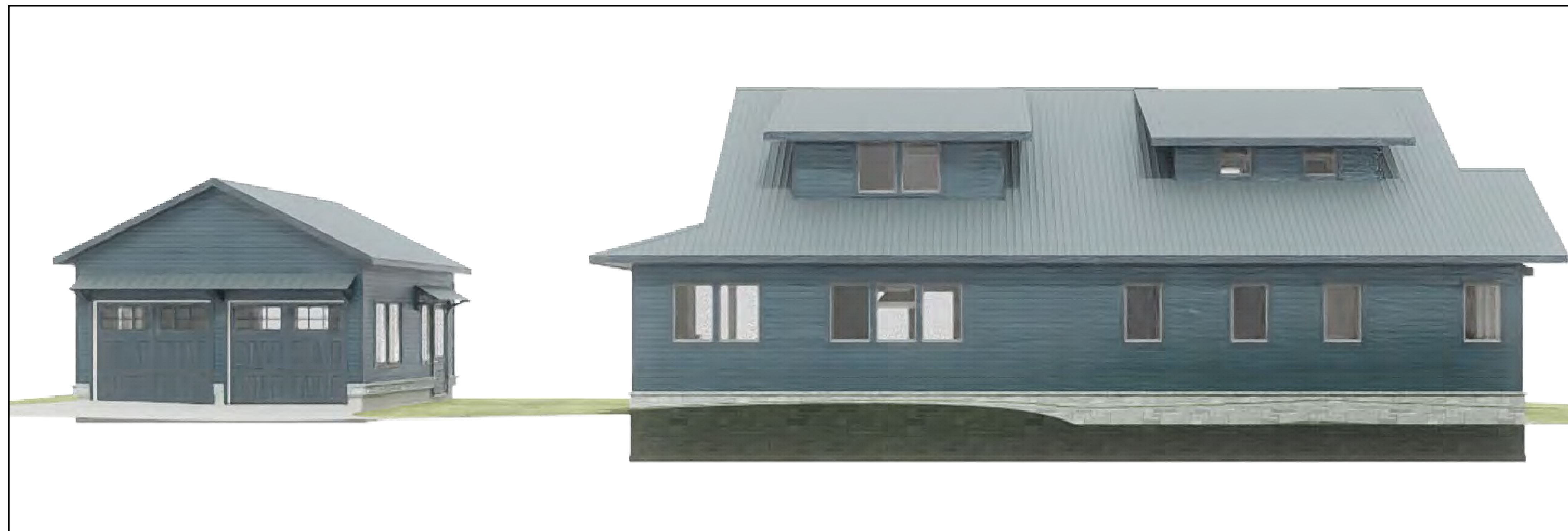
**Proposed Left Elevation**  
Scale: 1/4" = 1'-0"

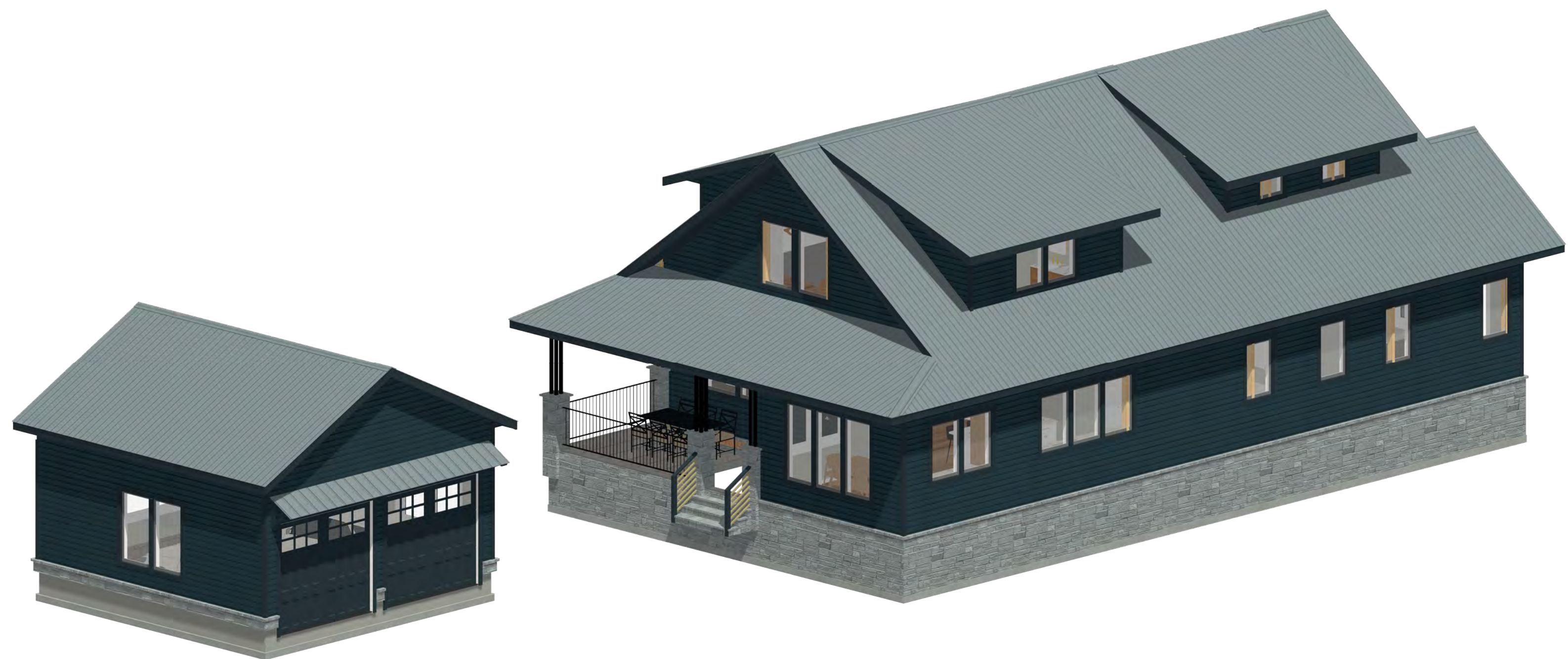
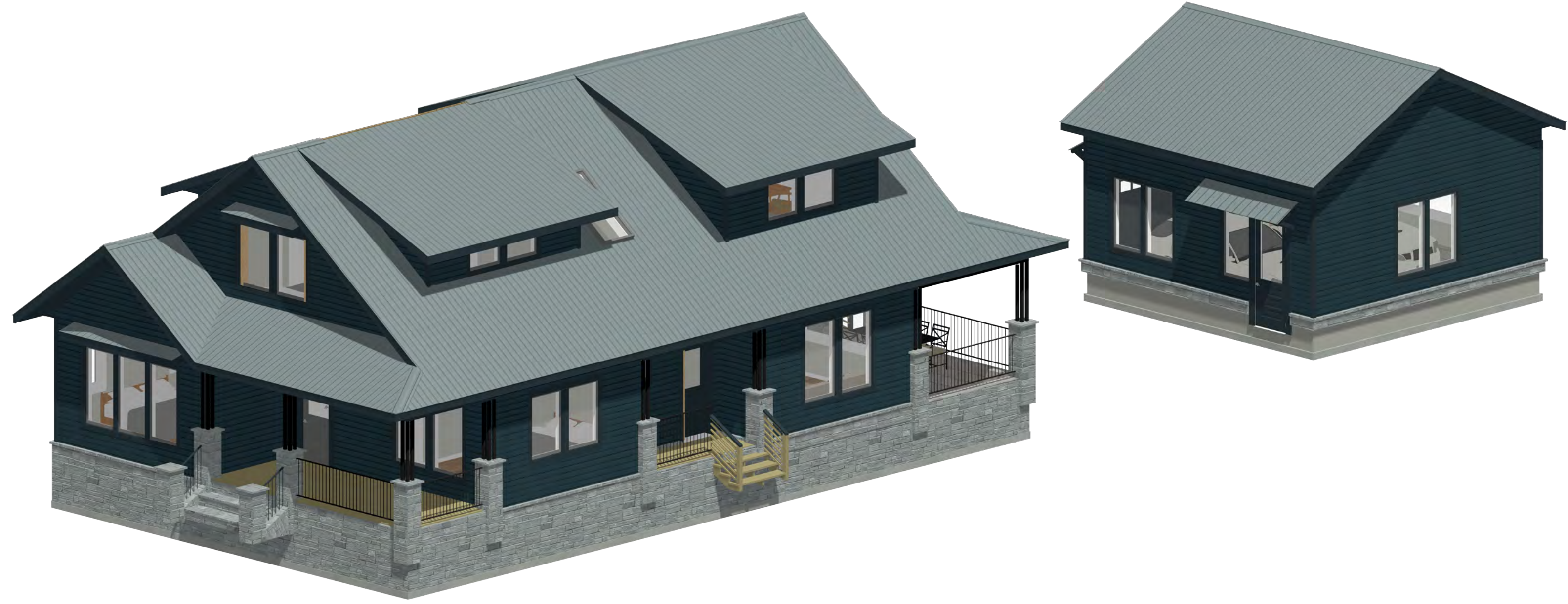


**Proposed Rear Elevation**  
Scale: 1/4" = 1'-0"



**Proposed Right Elevation**  
Scale: 1/4" = 1'-0"





NE SEABOLT  
E@SEABOLT.DESIGN

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Residential New Construction  
1130 Boulevard  
Athens GA, 30601

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## ORTHOGRAPHIC OVERVIEWS

4/2/25

**A-5**