



Architectural Design Book

Mallory & Evans
Development, LLC



The Shoals

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What's Inside?

Statement of Intent	5
How to Use this Design Book	7
Project Vision and Site Plan	11
Architectural Characters	23
Character Applications	37
Sample Building Type Elevations	41





Statement of Intent

The purpose of this Architectural Design Book is to provide architectural guidelines for the development, while allowing flexibility for architectural creativity and variation for each building type. The design standards in the Architectural Design Book were developed to provide a consistent palette of thoughtfully chosen building forms, materials, and design elements that will help to unify the four distinct neighborhoods. Application of the standards for buildings and site design will help to ensure that the final character of the development at full-build out will be aligned with the vision presented for consideration and approval.

Design standards required by A-CC Zoning Ordinance Sec 9-25-8-B (for single-family uses), 9-25-8 C. (for multi-family uses) & 9-25-8 E. (mixed or commercial uses) shall be waived and replaced with the design standards found in the Architectural Design Book. Items not addressed in this document shall default to A-CC Zoning Ordinances.





How to Use this Design Book

This Design Book is structured to guide the architectural design process. The layered approach begins at the broad context of the overall site. It defines specific architectural characters to give the site a unique, yet cohesive aesthetic. It then informs the means by which these characters are implemented. Finally, sample elevations of each proposed building type are included to demonstrate these characters and their respective potential applications to achieve the desired vision.

How to use this Design Book

1

Choose Building Type

This development suggests a wide variety of commercial and housing building types with guidelines to ensure that variety is maintained.

- Review the "Building Types Plans" (pg. 14-21) for suggested location and specific requirements in each neighborhood.
- Note that building types may be interchanged within the plan, provided that the result does not exceed maximum number of total units, maximum number of units per neighborhood, or maximum height of the neighborhood.



2

Select Architectural Character

Architectural characters are defined that are to be used throughout the development. They are defined by Typical Characteristics.

- Review the "Architectural Characters" section (pg. 22-33).
- Note requirements for architectural character per neighborhood and also for each building type (pg. 34-35).

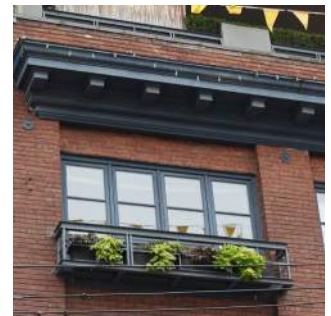


3

Apply Architectural Character

In addition to the Typical Characteristics, the application of the Architectural Characters are achieved by the unique use of different elements, opening requirements, and materials.

- Choose Design Element combination based on selected style (pg. 38-39).
- Review requirements for openings at doors and windows (pg. 40-41).
- Note allowable materials (pg. 42-43).



4

Review Sample Elevations

This Design Book provides sample elevations for each building type to describe how the elements are applied in a variety of architectural characters. These are intended to serve as a guide, rather than a required approach.

- Review the sample elevations for the chosen building type (pg. 44-133).
- Note any other requirements for the chosen building type on the tables
- Not all possible combinations are illustrated. For full list of allowable characters per building type, refer back to page 35.







Project Vision and Site Plan

A unique sequence of neighborhoods designed to create a sense of place and promote walkability, community, and diverse housing choice.

The intended vision for The Shoals utilizes the unique topography and natural features of the site to create an array of distinct residential and mixed-use neighborhoods in a walkable and bikable context. More intense building types are located along Barnett Shoals Road, while building intensity decreases and the architectural character changes as you move through the development, resulting in four distinct, yet connected neighborhoods, each with its distinct center:

The Arts and Entertainment District on Barnett Shoals will serve as a gateway to The Shoals. At this intersection, a combination of open plazas and commercial, mixed-use buildings with neighborhood-serving retail provide for residents' daily needs and entertainment within walking distance of their homes. The existing multimodal greenway trail will connect the development to the greater community through the southernmost commercial zone.

The Central Neighborhood mixes a combination of single family and multi-family units with active community amenities, fostering social connection mixed with spontaneous and planned recreation. It features a central pedestrian walkway that connects the neighborhood to an amenity space for the residents. The greenway trail continues through the development with points of interest included along the way, such as connections to the wooded creek.

The Peninsula is a unique part of the plan that takes inspiration from small rural towns with a neighborhood center then transitioning to more open single family units overlooking the woods and creek that surround the neighborhood.

The Garden Neighborhood is the least dense and also features a neighborhood center. The perimeter is surrounded by series of pocket neighborhoods and "treehouse" units that front onto the natural landscape.

Illustrative Site Plan





Building Types Plan





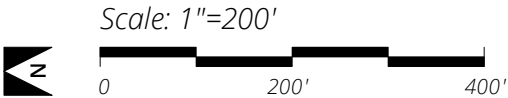
Arts and Entertainment District

Unit Range	240 - 325
Max. Building Height ¹	65'
Building Types	Building Type Key ²
Single Family Attached	
Mews	MW-A, MW-C, MW-E
Townhouse	TH1, TH2
Multi-Family	
Mansion Apartment	MS, ML
Multiplex	MP-A
Courtyard Apartment	CY
Live Work/Flex	LW1, LW2
Mixed Use	MU
Commercial	CM
Min. number of building types ³	5
Min. commercial area	20,000 gsf

¹ Height is measured from the average grade plane at the front facade to the midpoint of the roof or to the top of the average parapet.

² See Sample Elevations section

³ No individual type may be more than 55% of the neighborhood



Building Types Plan





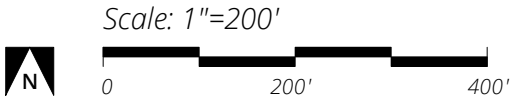
Central Neighborhood

Unit Range	155 - 215
Max Building Height ¹	45'
Building Types	Building Type Key ²
Single Family Detached	
Cottage	CT-A, CT-B
Treehouse	TR-A, TR-B
Single Family Attached	
Mews	MW-A, MW-C, MW-E
Duplex	DU
Triplex	TR
Multi-Family	
Carriage House	CH
Fourplex	FR
Fiveplex	FV
Mansion Apartment	MS, ML
Live Work/Flex	LW1-A, LW1-B
Garage	G
Min. number of building types ³	6

¹ Height is measured from the average grade plane at the front facade to the midpoint of the roof or to the top of the average parapet.

² See Sample Elevations section

³ No individual type may be more than 55% of the neighborhood



Building Types Plan





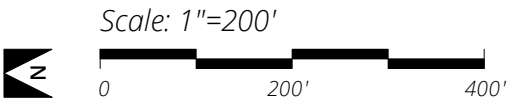
The Peninsula

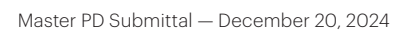
Unit Range	60 - 85
Max Building Height ¹	45'
Building Types	Building Type Key ²
Single Family Detached	
Mews	MW-A, MW-C, MW-E
Cottage	CT-A, CT-B
Treehouse	TR-A, TR-B
Single Family Attached	
Duplex	DU
Triplex	TR
Multi-Family	
Multiplex	MP-A
Live Work/Flex	LW1-A, LW1-B
Min. number of building types ³	4

¹ Height is measured from the average grade plane at the front facade to the midpoint of the roof or to the top of the average parapet.

² See Sample Elevations section

³ No individual type may be more than 55% of the neighborhood







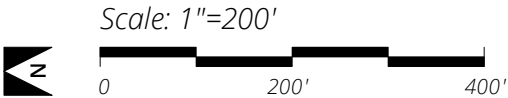
Garden Neighborhood

Unit Range	85 - 120
Max Building Height ¹	45'
Building Types	Building Type Key ²
Single Family Detached	
Single Family Home	SF-S, SF-M, SF-L
Cottage	CT-A, CT-B
Treehouse	TR-A, TR-B
Single Family Attached	
Townhouse	TH1
Duplex	DU
Triplex	TR
Multi-Family	
Multiplex	MP-A
Live Work/Flex	LW1-A, LW1-B
Garage	G
Min. number of building types ³	4

¹ Height is measured from the average grade plane at the front facade to the midpoint of the roof or to the top of the average parapet.

² See Sample Elevations section

³ No individual type may be more than 55% of the neighborhood







Architectural Characters

A harmonious variety of expressions

The following characters are intended to provide a cohesive, yet architecturally varied, development. These guidelines allow for a range of expression in material and form and each one is intended to transition through characters to give distinct character to each neighborhood as one moves through the plan. Some neighborhoods may be more heavily influenced by category one over another; however, having variety in each neighborhood ensures an interesting and desirable streetscape.

In this chapter

Main Street/ Warehouse	25
Southeastern Vernacular	27
Tudor	29
Southeastern Rustic	31
Contemporary	33
Architectural Character by Neighborhood	34
Architectural Character by Building Type	35



Main Street/ Warehouse



Roof

Openings

Cladding

Description

Main Street/ Warehouse buildings are inspired by industrial buildings that are composed of simple rectilinear forms, articulated with a regular, pattern of bays.

Typical Characteristics

Roof Form Flat with parapet, gabled

Openings Windows must be vertically proportioned (1:1 or greater). If ganged, mullions of 4" or greater may count as separation.

Cladding Brick, corrugated or ribbed metal, metal panel, cast stone, fiber cement*, board and batten*, composite wood

Design Elements (see full list on pg. 38)

- A** Balcony
- B** Ornamental brickwork
- C** Awnings
- D** Brick pilasters
- E** Decorative mouldings
- F** Divided window lites

* Cannot be used as primary cladding on ground floor facades facing Main Street



Balconies, brick pilasters



Awnings



Ornamental cornice



Brick pilasters, brick detailing, awning



Light fixtures, awnings, brick detailing



Glenwood Pk SE

NEW LISTING

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Southeastern Vernacular



Description

Southeastern Vernacular buildings are inspired by architecture in the American Southeast. Buildings may have more historical or more contemporary detailing.

Typical Characteristics

Roof Form Front gable, side gable, hipped, flat with parapet

Openings Windows must be vertically proportioned (1:1 or greater). If ganged, mullions of 4" or greater may count as separation.

Cladding Brick, fiber cement siding, fiber cement shingle, board and batten

Design Elements (see full list on pg. 38)

- A Shutters
- B Balconies
- C Porches
- D Mouldings, brackets, decorative brickwork
- E Chimneys and gable with parapet
- F Divided window lites



Decorative mouldings



Porches



Balconies, chimneys, divided lites



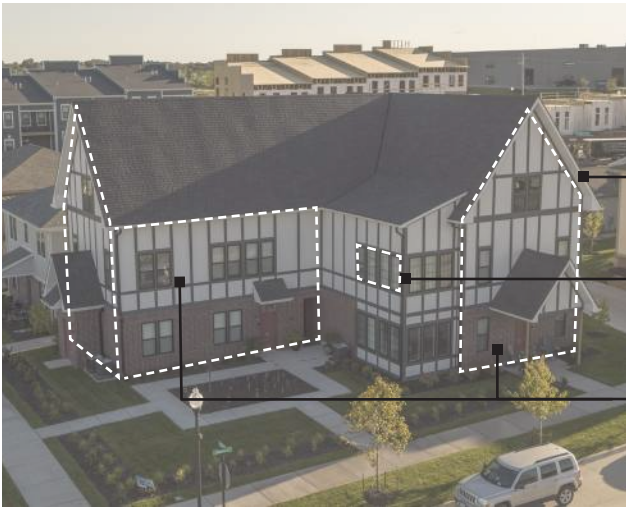
Shutters, divided lites



Brick side gable, balconies



Tudor



Description

Tudor buildings are inspired by the Storybook and Tudor Revival styles that emerged in America in the late 19th century. Buildings may have more historical details or more contemporary detailing.

Typical Characteristics

Roof Form Side gable, front gable. Steep pitch. Minimal eave.

Openings Windows must be vertically proportioned (1:1 or greater). If ganged, mullions of 4" or greater may count as separation.

Cladding Painted/ natural brick, fiber cement panel, stucco, board and batten

Design Elements (see full list on pg. 38)

- A** "Half-timbering" details
- B** Attached over-doors
- C** Dormers
- D** Bay windows
- E** Chimneys
- F** Divided window lites



Bay window



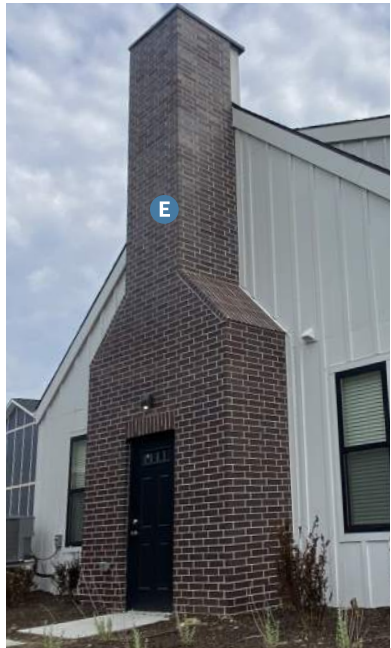
"Half-timber" details, divided lites



Bay window, divided lites



Dormers, "half-timber" details



Chimney



Southeastern Rustic



Description

Southeastern Rustic buildings derive their character from the constructional logic of carpentry in which buildings are formed by the repetition of structural elements. Buildings may have more historical details or more contemporary detailing.

Typical Characteristics

Roof Form Low-pitched. Deep overhangs and rakes

Openings Windows must be vertically proportioned (1:1 or greater). If ganged, mullions of 4" or greater may count as separation.

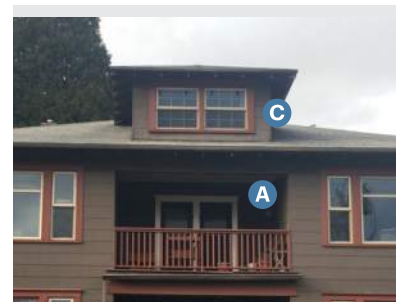
Cladding Fiber cement siding/ shingles, painted/ natural brick, concrete, board and batten

Design Elements (see full list on pg. 38)

- A** Covered porch
- B** Decorative rafters
- C** Dormers
- D** Decorative brackets
- E** Chimney
- F** Divided window lites



Decorative bracket, divided lites



Inset porch, dormer, exposed rafters



Dormers, chimney, brackets, lites



Projecting porch, decorative rafters



Decorative rafter tails



Contemporary



Roof

Openings

Cladding



Description

Contemporary buildings have a streamlined aesthetic and minimal ornamentation. This style focuses on combining simple rectilinear massing forms with changes in material and color. The use of glass and simple materials imbues buildings with a sense of lightness and simplicity.

Typical Characteristics

Roof Form Sloped with minimal eaves

Openings Windows may be vertically or horizontally proportioned

Cladding Brick, corrugated or ribbed metal, panelized metal, fiber cement panel, fiber cement siding, concrete, stucco, board and batten

Design Elements (see full list on pg. 38)

- | | |
|----------|-------------------------------|
| A | Dormers |
| B | Inset or projecting balconies |
| C | Overdoors |
| D | Inset entrance |
| E | Porches |
| F | Divided window lites |



Overdoor



Inset entrance, divided lites



Porch, divided lites



Dormer, projecting mass/porch



Balconies, porches, dormers

Architectural Character by Neighborhood



Allowable Architectural Character by Neighborhood

Neighborhood	Main Street/ Warehouse	Southeastern Vernacular	Tudor	Southeastern Rustic	Contemporary
Arts and Entertainment District	●	○			○
Central Neighborhood		○	●	○	○
The Peninsula		○	○	●	○
Garden Neighborhood		●	○	○	○

● = Primary (40%-70%)

○ = Supplemental (10% min.)

Distinct, yet cohesive neighborhood characters

Each neighborhood will have a unique, yet related, character through use of building type, siting, and architectural expression. These neighborhood styles are described in the table above.

Application:

Each neighborhood must have

- A minimum of three style with
- A Primary Style, of which a percentage of buildings must fall into AND
- Supplemental Styles, which provide variation in the neighborhood.

Architectural Character by Building Type

Allowable Architectural Character Variation By Building Type					
Building Type	Main Street/ Warehouse	Southeastern Vernacular	Tudor	Southeastern Rustic	Contemporary
Mixed Use	●	○			○
Live Work/Flex	●	●	○		○
Courtyard Apartment	○	●	○	○	○
Multiplex	○	●	○	○	○
Mansion Apartment		●	●	○	○
Fiveplex		○	●	●	○
Fourplex		●	○	●	○
Triplex		○	○	●	●
Duplex		○	○	●	●
Mews	●	●	○	●	○
Carriage House	○	●	●	○	○
Treehouse		○	○	●	●
Townhouse	○	●	○	○	●
Cottage		●	○	●	●
Single Family Home		●	●	●	●

● = Example in this Design Book ○ = Allowable Variation

Variation through architectural expression

To create a varied streetscape and a range of housing options many building types are used in more than one neighborhood. Depending on the surrounding context and neighborhood, more than one Architectural Style(s) may be applicable to any one building type.

Application:

These allowable character variations options for each building type are noted in the table above.

- Styles with a solid dot have examples in this Design Book.
- "Variations" are other styles that may be used for that building type but are not specifically illustrated in this Design Book.





Character Applications

Creating variety and encouraging community

The following section describes how these Architectural Characters are applied from the scale of the overall development, to the neighborhood scale, and down to the building scale. They address how buildings interact with the public realm and contribute to the streetscape.

Standards that aren't explicitly addressed here shall default to A-CC Zoning Policy.

In this chapter

Design Elements	39
Openings	41
Materials	43

Allowable Design Elements by Character

Elements	Main Street/ Warehouse	Southeastern Vernacular	Tudor	Southeastern Rustic	Contemporary
Entryway Elements	Required for every entrance. See definition on opposite page.				
Form Elements					
Dormers		•	•	•	•
Bay window (min. 24")	•	•	•	•	•
Brick gable with parapet	•	•	•		
Chimney	•	•	•	•	•
Inset balcony (min. 48")	•	•		•	•
Cupola	•	•	•		
Roof monitor/clerestory	•				•
Projection or step in plane (min. 24")	•				•
Tower or turret	•	•	•		
Corner window					•
Occupiable balcony (min. 48")	•	•	•	•	•
Occupiable porch (min. 6')		•		•	•
Covered gallery or loggia	•	•			
Ornamental Elements					
Decorative brickwork	•	•	•		•
Decorative cornice	•	•	•		
Decorative mouldings/string courses	•	•	•		
"Half-timbering"			•	•	
Divided window lites (2-sided, exterior-mounted)	•	•	•	•	•
Shutters (each must be 1/2 width of corresponding opening)	•	•		•	•
Pilasters	•	•			
Brackets	•	•	•	•	•
Exposed rafter tails	•	•	•	•	•
Juliette balcony (min. 8" projection)	•	•			
Projecting window surround	•				•
Window shade element	•	•	•	•	•
Brick arch or jack arch, cast stone lintel	•	•	•	•	•
Change in material					•
Decorative columns	•	•	•	•	•
Stepped parapet	•				
Painted mural on facade	•				

Design Elements

A kit-of-parts

Within each Architectural Character, Design Elements must be selected and utilized. The selection may be based on siting, desired affect, lot size, or any other reason to enhance the facade of the building.

Entryway Elements provide cover above a building's primary and secondary entrances.

- All entryways will have an Entryway Element.
- At least 50% of the buildings will have an Entryway Element that is at least 48" deep. The remaining Entryway Elements will be at least 24" deep.
- All Entryway Elements will be at least 1.5x the width of the associated opening and within 3' of the top of the opening.
- Entryway Elements may also be used to provide covered outdoor space for the unit and/or entire building. See note in "Application" below regarding Entryway Elements used elsewhere on a building.
- Examples of Entryway Elements are covered porches, attached overdoors, awnings, recessed entries, galleries, and balconies. This list is not exhaustive of all possibilities.

Form Elements alter the exterior form of the building and may be used strategically to enhance a building.

Ornamental Elements provide visual interest and expression in their respective architectural characteristics.

Application:

At a minimum, each building's primary public-facing facade must include:

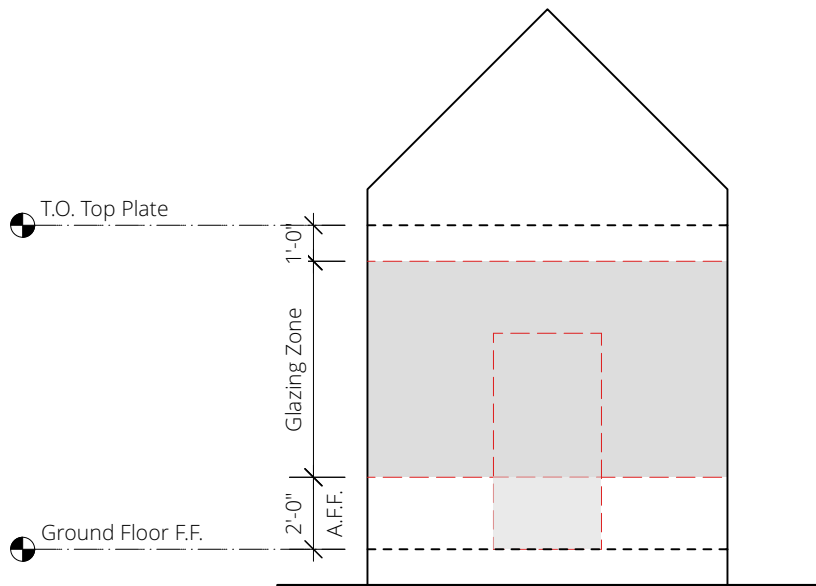
- One Entryway Element at each entrance

AND one of the following options:

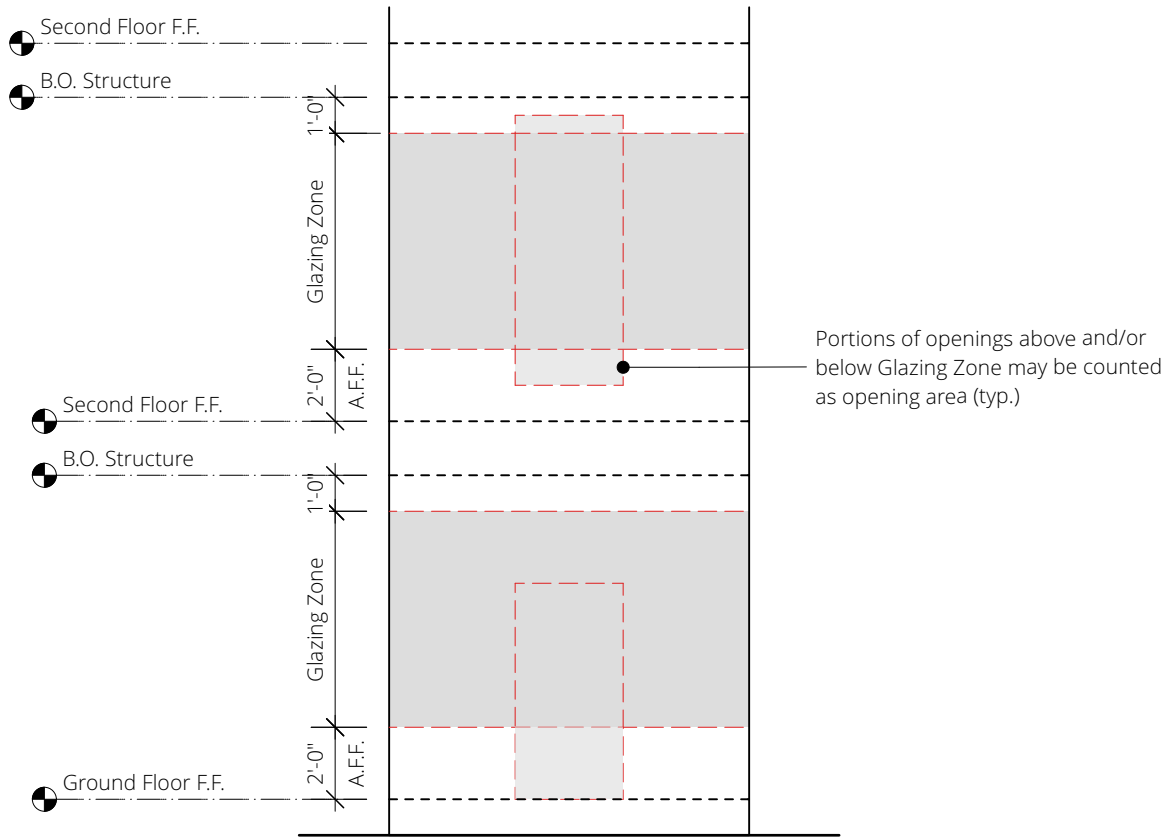
- One Form Element and one Ornamental Elements OR
- Two Ornamental Elements

Note: An Entryway Element may also be counted as one required Form Element if it extends beyond above the entry to create a usable outdoor space or used elsewhere on the building other than above an entrance.





Glazing calculation for flat, vaulted, or lofted ceilings



Typical glazing calculation

Openings

Connection and permeability

Windows and doors are essential elements when creating an active street front and neighborhood. These standards seek to create porosity in building facades so that there is adequate connection between the interior and the exterior of the building. Every building that faces a street, path, or green must have at least one entrance facing that public right of way. Garages and Carriage Houses are exempt from this requirement.

Application

Every building's primary public-facing facade on a street, path, or green must comply with the following:

- Abide by the Glazing Zone diagram on page 38. The Glazing Zone is defined as show in the figure on the left. It consists of a band at 2'-0" above the finished floor and extends to 1'-0" below the bottom of the structure above.
 - On front facades, 25% of the total area of all Glazing Zones on a facade must be window or door. On side street-facing facades, the required opening area is 20% of all Glazing Zones.
 - Doors and windows that extend above or below this area, and may count toward the required coverage.
 - For ground floor commercial frontage on the Main Street, 50% of the ground floor must be glazing.
 - Garage doors may not open directly onto a street other than a driveway or an alley and therefore may not count toward opening requirements.
- To ensure a sufficient shadow line and depth, windows shall not be flush with adjacent wall treatment and/or trim. Minimum 2" inset.
- For brick cladding: Windows shall be provided with a horizontal lintel, a sill, and a brickmould. A brick soldier course is the minimum lintel. Other lintel treatments may be considered an Ornamental Element - see page 24.
- For all other cladding: Windows shall be provided with trim on all sides.





Materials

Allowable Materials	
Element	Material
Roof and Roof Elements	
Roofing	Composite shingles, standing seam metal, TPO
Rake and Eave	Fiber cement, composite wood, metal, wood ¹
Windows and Doors	
Entry Doors	Metal, fiberglass, composite wood, wood ¹
Windows	Aluminum, fiberglass, vinyl
Attached Elements	
Columns	Composite wood, wood ¹ , fiberglass, metal
Railing	Composite wood, wood ¹ , metal
Brackets	Composite wood, wood ¹ , fiberglass, metal
Awnings	Metal, fabric, wood ¹ , composite wood, fiberglass
Storefronts	
Storefront frame	Composite wood, metal
Storefront detailing	Wood ¹ , composite wood, metal, fiberglass, cast stone
Storefront base	Brick ² , composite wood, metal, cast stone
Trim	
Corner, window	Fiber cement, composite wood, metal, wood ¹
Base	
Water table	Granite, cast stone, brick ² , concrete, fiber cement, wood, composite wood, stucco
Cladding	
See character pages for each style	
Wall	Brick ² , stucco, fiber cement (panel, shingle, horizontal siding), board and batten, metal panel ³ , corrugated or ribbed metal ³ , stucco, cast stone, composite wood, stucco

¹ Painted or stained

² Painted or natural

³ Must be differentiated from metal roofing. Gauge value of 24 or less and no exposed fasteners upon completion

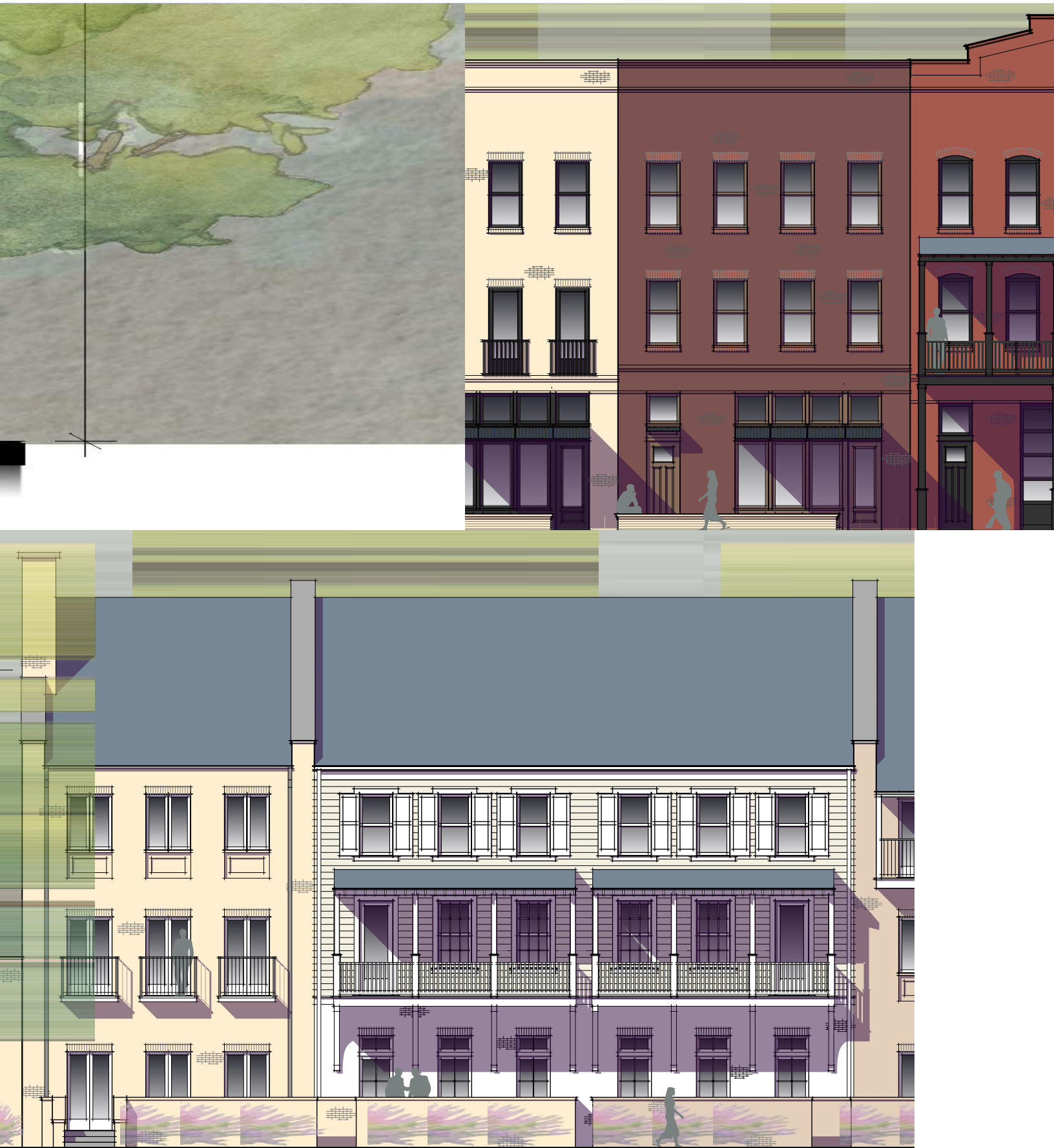
A consistent palette of base materials

To achieve a level of cohesion through the site, there are material suggestions that might vary in color, character and form, but will remain consistent in material.

Application

- These elements and options for their materials are detailed in the table on the left.







Sample Building Type Elevations

A wide range of housing options

This section features prototypical elevations for the variety of building types utilized in The Shoals. Having a range of building types offers an array of unit types, sizes, and configurations to meet a diversity of housing needs in the community.

The prototypical elevations shown demonstrate how the above guidelines are implemented on the various proposed building types. They illustrate how the Typical Characteristics in each architectural style and demonstrate how Design Elements might be applied. Finalized elevations will be determined by factors such as site, neighborhood, and context. Depicted colors are initial suggestions to create a cohesive composition across architectural expressions and may vary in the finalized design to ensure a varied streetscape.

These prototypical elevations convey a general design intent and will vary both between different architectural styles and within the same architectural style through material selection, color, and use of Design Elements.



Mixed-Use

(MU) - Main Street/ Warehouse



Type Description

This building type has commercial frontage on the ground floor and stacked apartments above. There may be connections between buildings on upper floors.

Typical Unit Range 8 du - 20 du



Roof monitor
Form Element

Roof: Sloped with side gable
Typical Characteristic

Openings: Vertically proportioned
Typical Characteristic

Divided lites
Ornamental Element

Awning
Entryway Element

Cladding: Corrugated metal, concrete base
Typical Characteristic

Mixed-Use

(MU) - Main Street/ Warehouse



Type Description

This building type has commercial frontage on the ground floor and stacked apartments above. There may be connections between buildings on upper floors.

Unit Range 8 du - 15 du



Roof: Flat with Parapet
Typical Characteristic

Stepped parapet
Ornamental Element

Decorative brickwork
Ornamental Element

Arched lintel
Ornamental Element

Openings: Vertically proportioned
Typical Characteristic

Gallery
Entryway/Form Element

Cladding: Brick
Typical Characteristic

Live/Work Flexhouse

(LW1-A, LW1-B, LW2) - Main Street/Warehouse



Type Description

This building type includes one dwelling unit above a flexible ground floor space that can be used for residential, live/work, or retail - like a neighborhood coffee shop, day care, or small professional office. This type may be two or three stories, depending on the context.

Unit Range (per bay)	1 du - 2 du
Composition	2 - 5 bays



Roof: Flat with Parapet
Typical Characteristic

Decorative brickwork
Ornamental Element

Shutters
Ornamental Element

Openings: Vertically proportioned
Typical Characteristic

Covered gallery
Entryway/Form Element

Cladding: Brick
Typical Characteristic

Live/Work Flexhouse

(LW1-A, LW1-B, LW2) - Southeastern Vernacular



Type Description

This building type includes one dwelling unit above a flexible ground floor space that can be used for residential, live/work, or retail - like a neighborhood coffee shop, day care, or small professional office. This type may be two or three stories, depending on the context.

Unit Range (per bay)	1 du - 2 du
Composition	2 - 5 bays



Chimney

Form Element

Roof: Sloped with side gable

Typical Characteristic

Decorative brickwork

Ornamental Element

Shutters

Ornamental Element

Projecting covered balcony

Entryway/Form Element

Cladding: Brick, siding

Typical Characteristic

**Openings: Vertically
proportioned**

Typical Characteristic

Courtyard Apartment

(CY) - Southeastern Vernacular



Type Description

This building type consists of a series of stacked apartments that are organized around small courtyards. At the rear of the building, there is tuck-under parking.

Typical Unit Range 15 du - 30 du



Secondary street elevation



Roof: Sloped, hipped
Typical Characteristic

Openings: Vertically proportioned
Typical Characteristic

Covered porch
Entryway/Form Element

Decorative columns
Ornamental Element

Cladding: Siding, brick base
Typical Characteristic

Courtyard Apartment

(CY) - Southeastern Vernacular



Type Description

This building type consists of a series of stacked apartments that are organized around small courtyards. At the rear of the building, there is tuck-under parking.

Typical Unit Range 10 du - 30 du



Multiplex

(MP-A, MP-B) - Southeastern Vernacular



Type Description	
This building type consists of a series of stacked apartment units with the front half of the ground floor dedicated to units and the rear half has the option for tuck under parking. This type may be two or three stories, depending on the context.	
Unit Range	6 du - 12 du



Roof: Hipped
Typical Characteristic

Covered porch
Entryway/Form Element

**Openings: Vertically
proportioned**
Typical Characteristic

Cladding: Siding
Typical Characteristic

Divided lites
Ornamental Element

Multiplex

(MP-A, MP-B) - Southeastern Vernacular



Type Description	
This building type consists of a series of stacked apartment units with the front half of the ground floor dedicated to units and the rear half has the option for tuck under parking. This type may be two or three stories, depending on the context.	
Unit Range	6 du - 12 du



Mansion Apartment

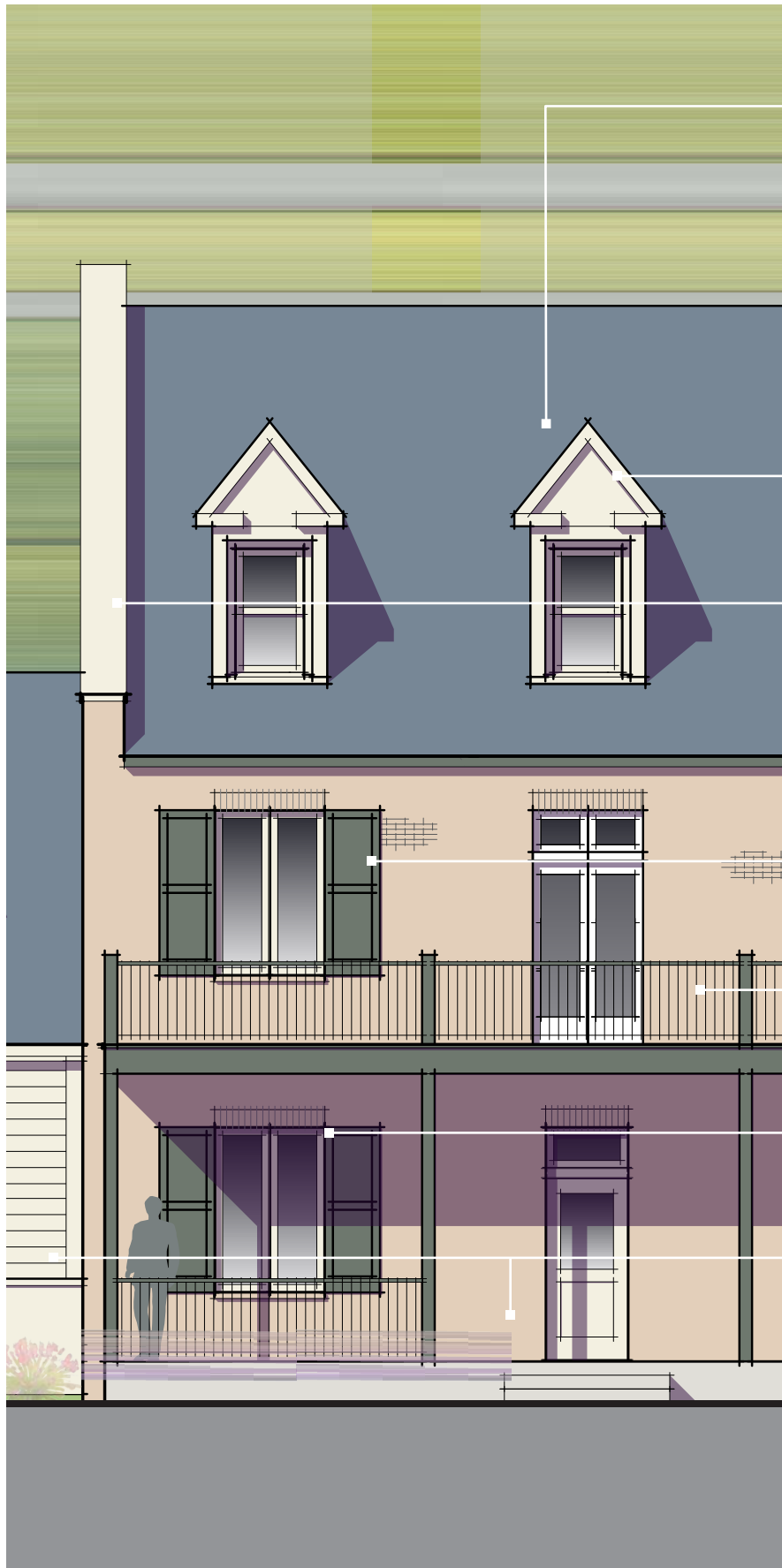
(ML) - Tudor



Type Description

This building type appears from the street like a large mansion while it offers multiple residential units under one structure.

Unit Range 6 du - 10 du



Roof: Sloped with side gable
Typical Characteristic

Dormer
Form Element

Brick side gable
Form Element

Shutters
Ornamental Element

Covered porch
Entryway/Form Element

Openings: Vertically proportioned
Typical Characteristic

Cladding: Brick, siding
Typical Characteristic

Mansion Apartment

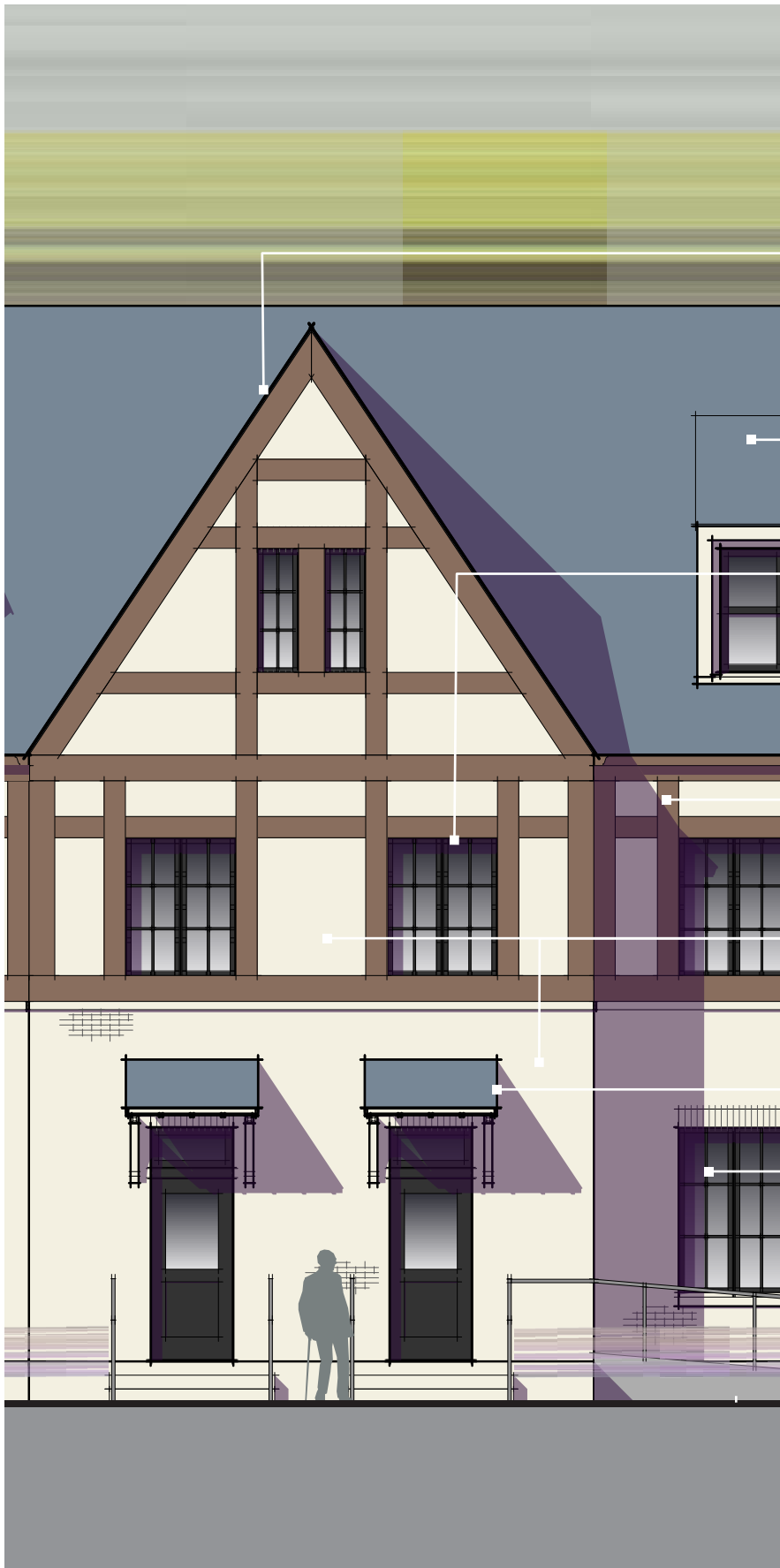
(ML) - Southeastern Vernacular



Type Description

This building type appears from the street like a large mansion while it offers multiple residential units under one structure.

Unit Range 6 du - 10 du



**Roof: Steep gable
with minimal eaves**

Typical Characteristic

Dormer
Element

Form

**Openings: Vertically
proportioned**

Typical Characteristic

"Half-timbering"
Ornamental Element

**Cladding: Brick,
fiber cement board**

Typical Characteristic

Overdoors
Entryway Element

Divided lites
Ornamental Element

Mansion Apartment

(MS) - Tudor



Type Description

This building type appears from the street like a large mansion while it offers multiple residential units under one structure.

Unit Range

6 du - 10 du



Roof: Sloped side gable
Typical Characteristic

Dormer
Form Element

Openings: Vertically proportioned
Typical Characteristic

Exposed rafters
Ornamental Element

Covered porch
Entryway/Form Element

Cladding: Siding
Typical Characteristic

Mansion Apartment

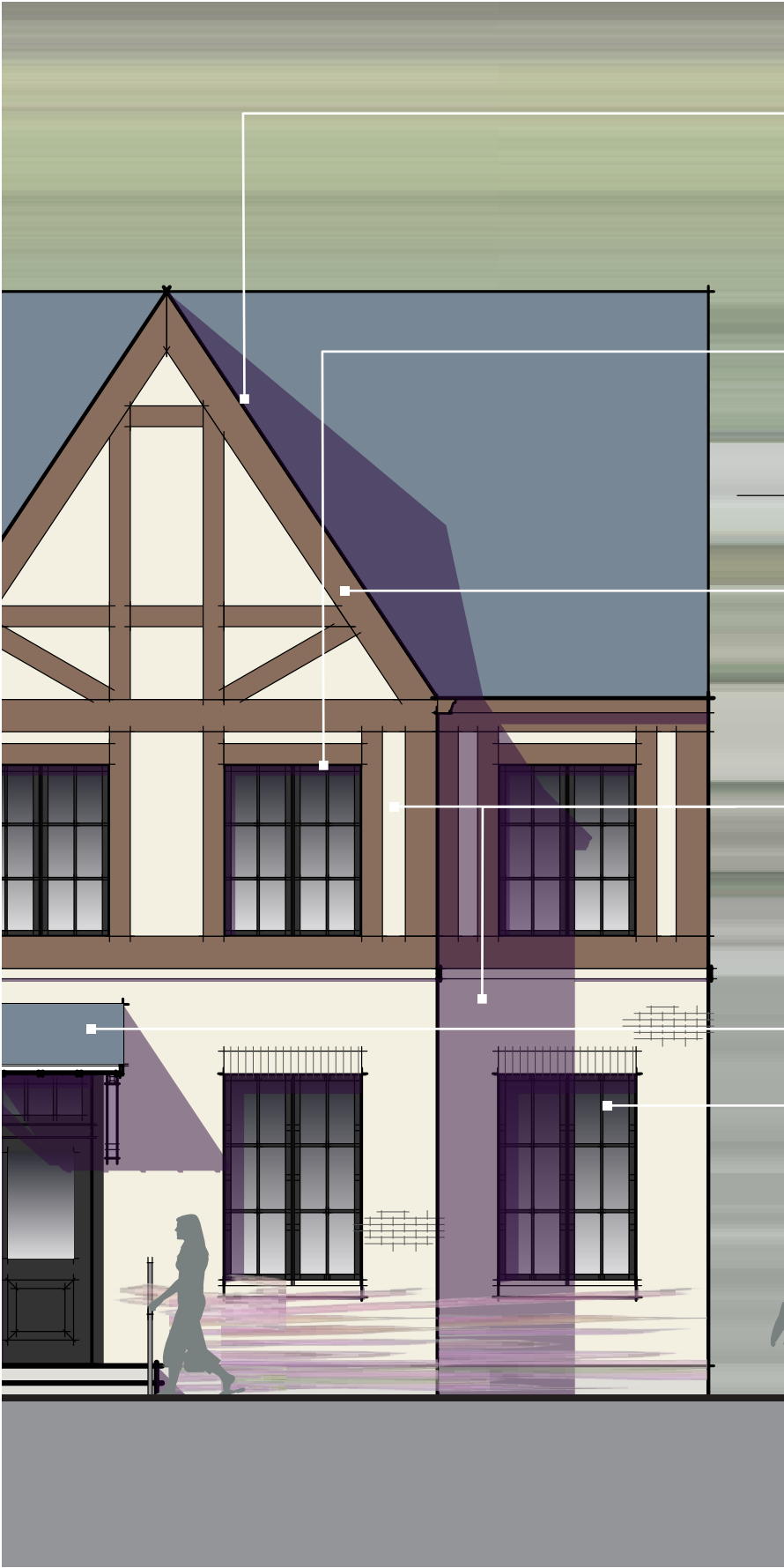
(MS) - Southeastern Vernacular



Type Description

This building type appears from the street like a large mansion while it offers multiple residential units under one structure.

Unit Range 6 du - 10 du



**Roof: Steep gable
with minimal eaves**
Typical Characteristic

**Openings: Vertically
proportioned**
Typical Characteristic

"Half-timbering"
Ornamental Element

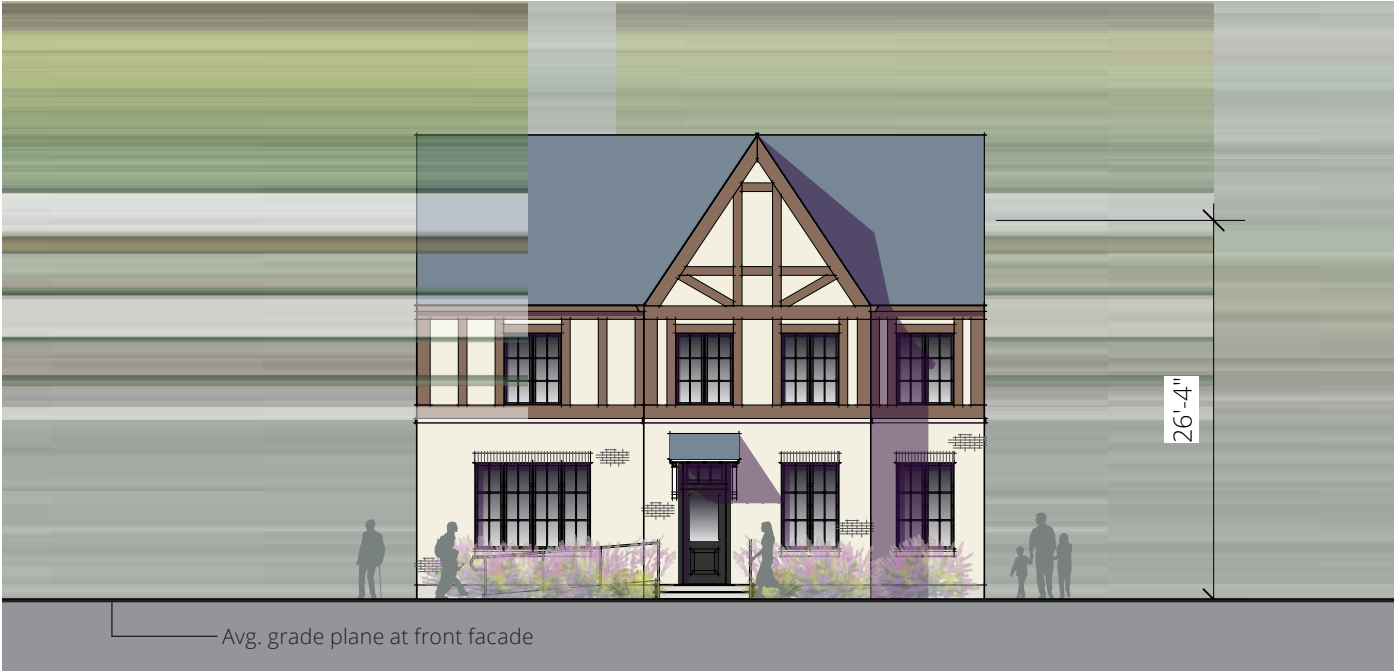
**Cladding: Brick,
fiber cement board**
Typical Characteristic

Overdoor
Entryway Element

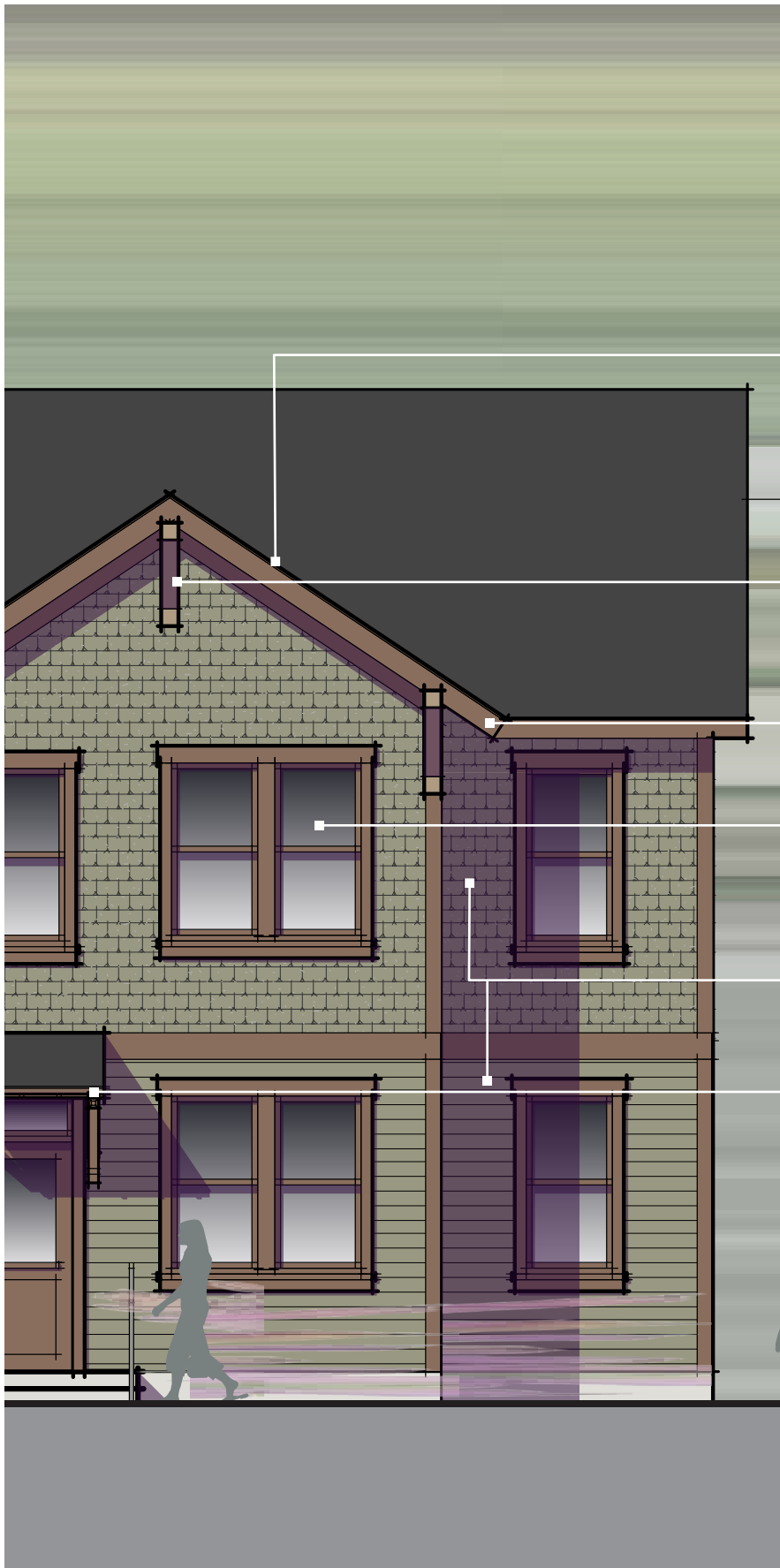
Divided lites
Ornamental Element

Fiveplex

(FV) - Tudor



Type Description	
This building type includes five stacked units with a shared entry.	
Unit Range	5 du



**Roof: Low-pitched
with wide overhangs**
Typical Characteristic

Brackets
Ornamental Element

Exposed rafters
Ornamental Element

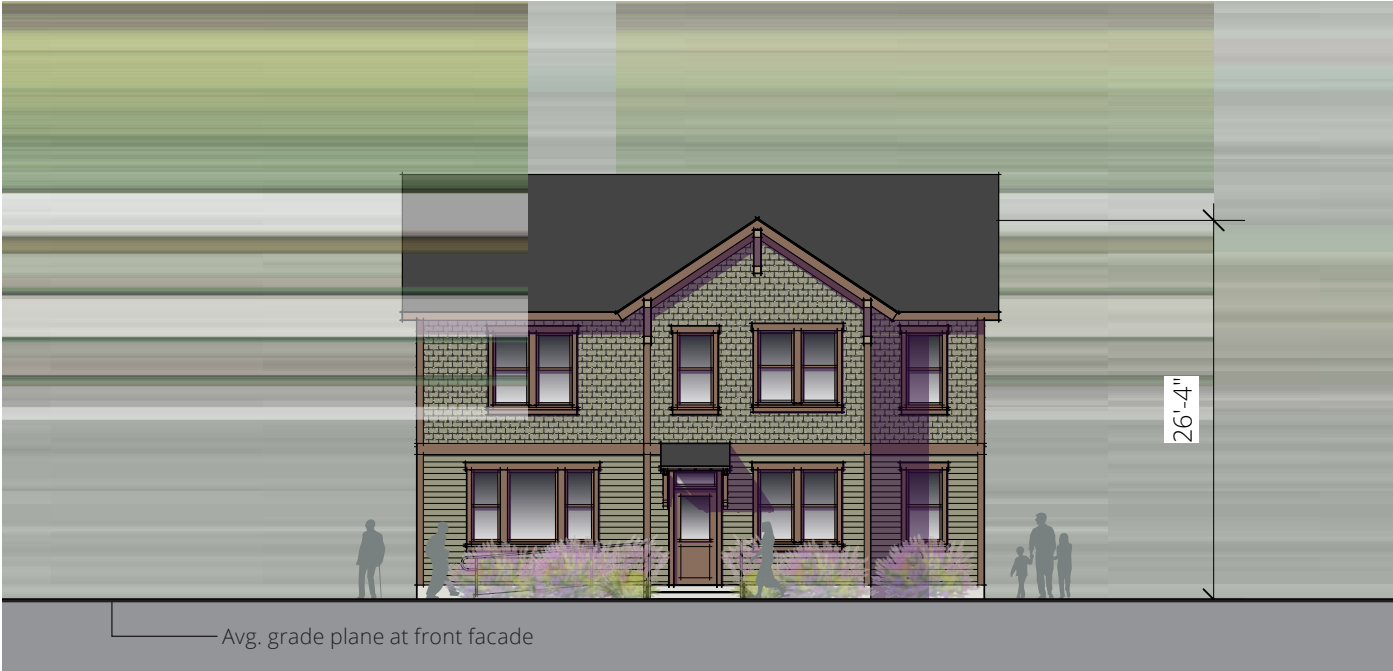
**Openings: Vertically
proportioned with mullion**
Typical Characteristic

Cladding: Lap, shake siding
Typical Characteristic

Overdoor
Entryway Element

Fiveplex

(FV) - Southeastern Rustic



Type Description

This building type includes five stacked units with a shared entry.

Unit Range 5 du



Brackets
Ornamental Element

Roof: Low-pitched with wide overhangs
Typical Characteristic

Openings: Vertically proportioned with mullion
Typical Characteristic

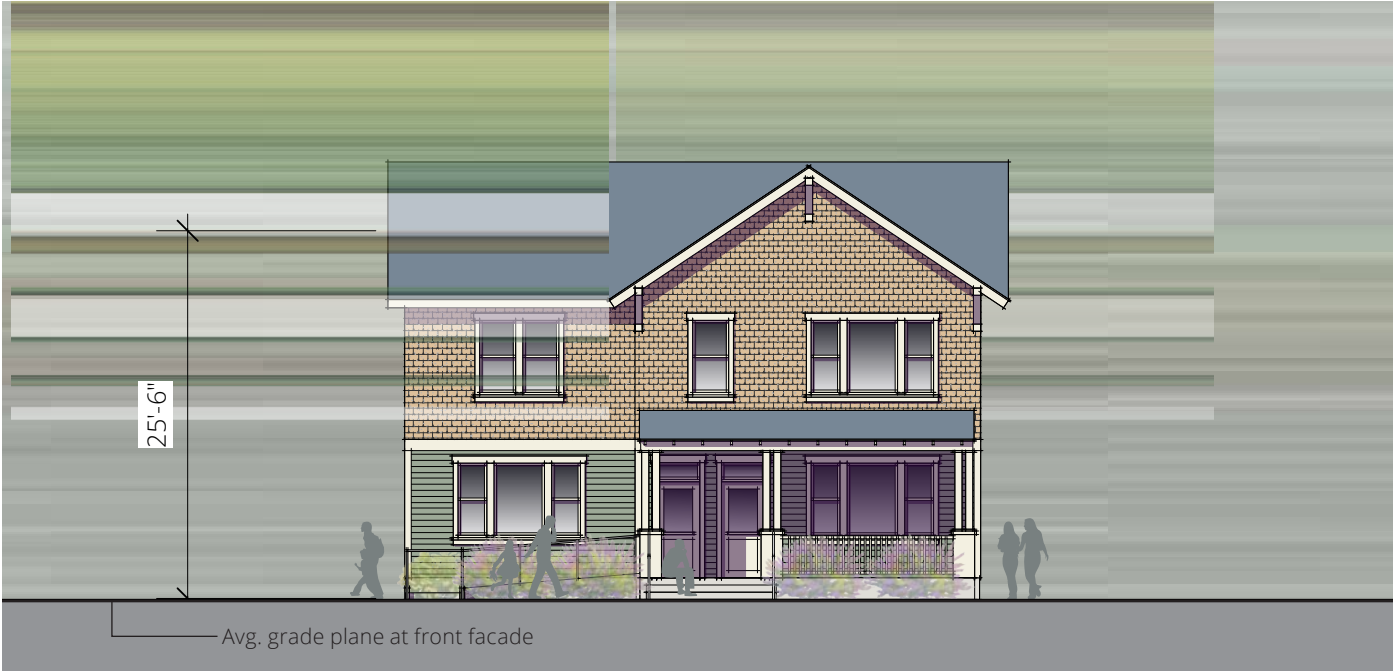
Cladding: Lap, shake siding
Typical Characteristic

Exposed rafters
Ornamental Element

Covered porch
Entryway/Form Element

Fourplex

(FR) - Southeastern Rustic



Type Description	
This building type includes four stacked units with a shared entry.	
Unit Range	4 du



Roof: Sloped side gable
Typical Characteristic

Exposed rafters
Ornamental Element

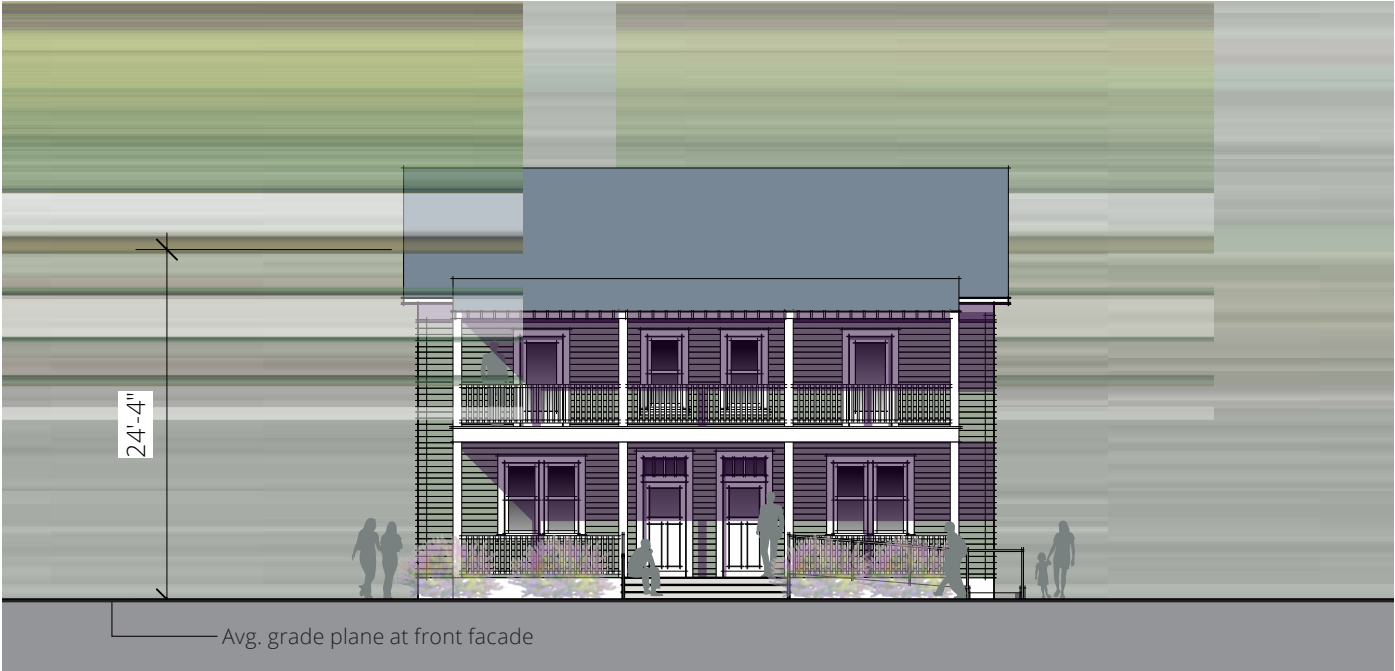
Two-story covered porch
Entryway/Form Element

Cladding: Siding
Typical Characteristic

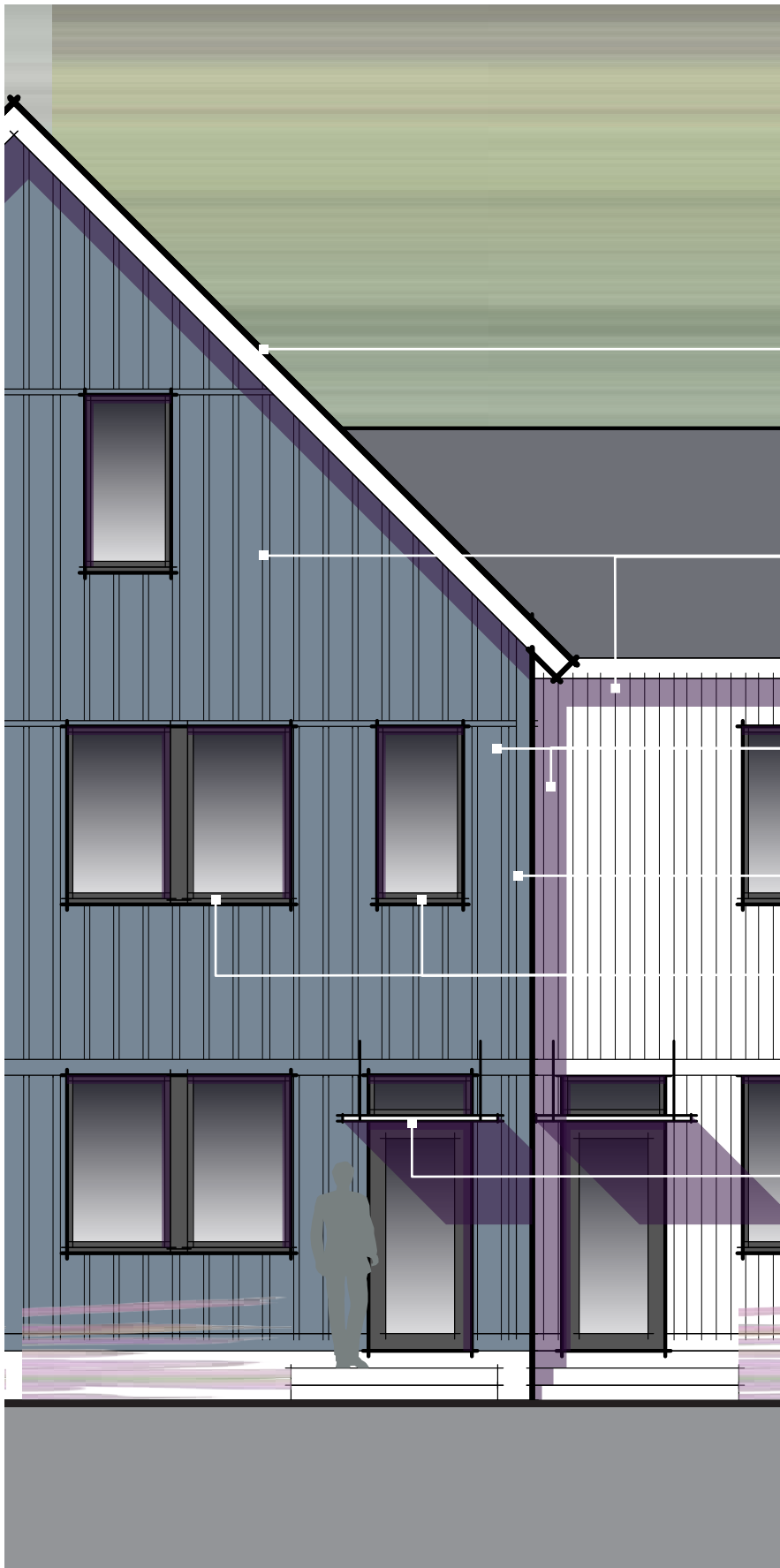
Openings: Vertically proportioned with mullion
Typical Characteristic

Fourplex

(FR) - Southeastern Vernacular



Type Description	
This building type includes four stacked units with a shared entry.	
Unit Range	4 du



Roof: Sloped, simple eave

Typical Characteristic

Cladding: Siding, board and batten, metal panel

Typical Characteristic

Change in material

Decorative Element

Step in plane

Form Element

Openings: Vertically and horizontally proportioned

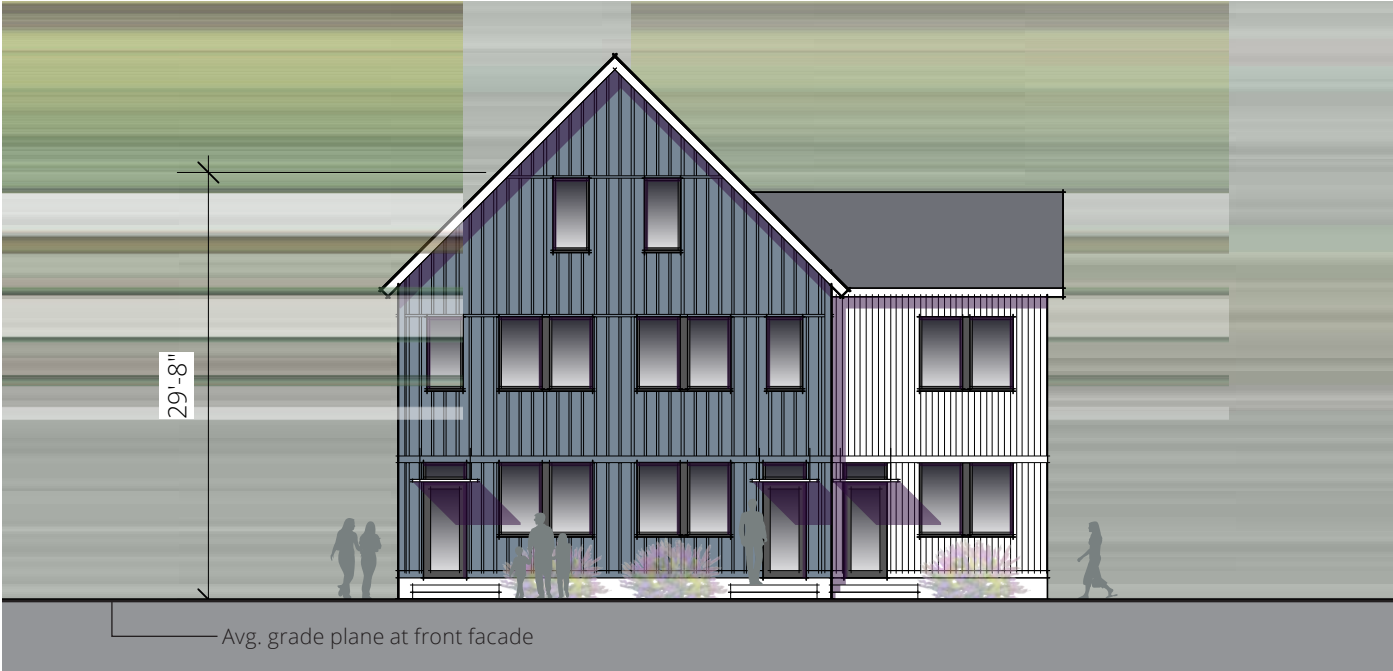
Typical Characteristic

Overdoor

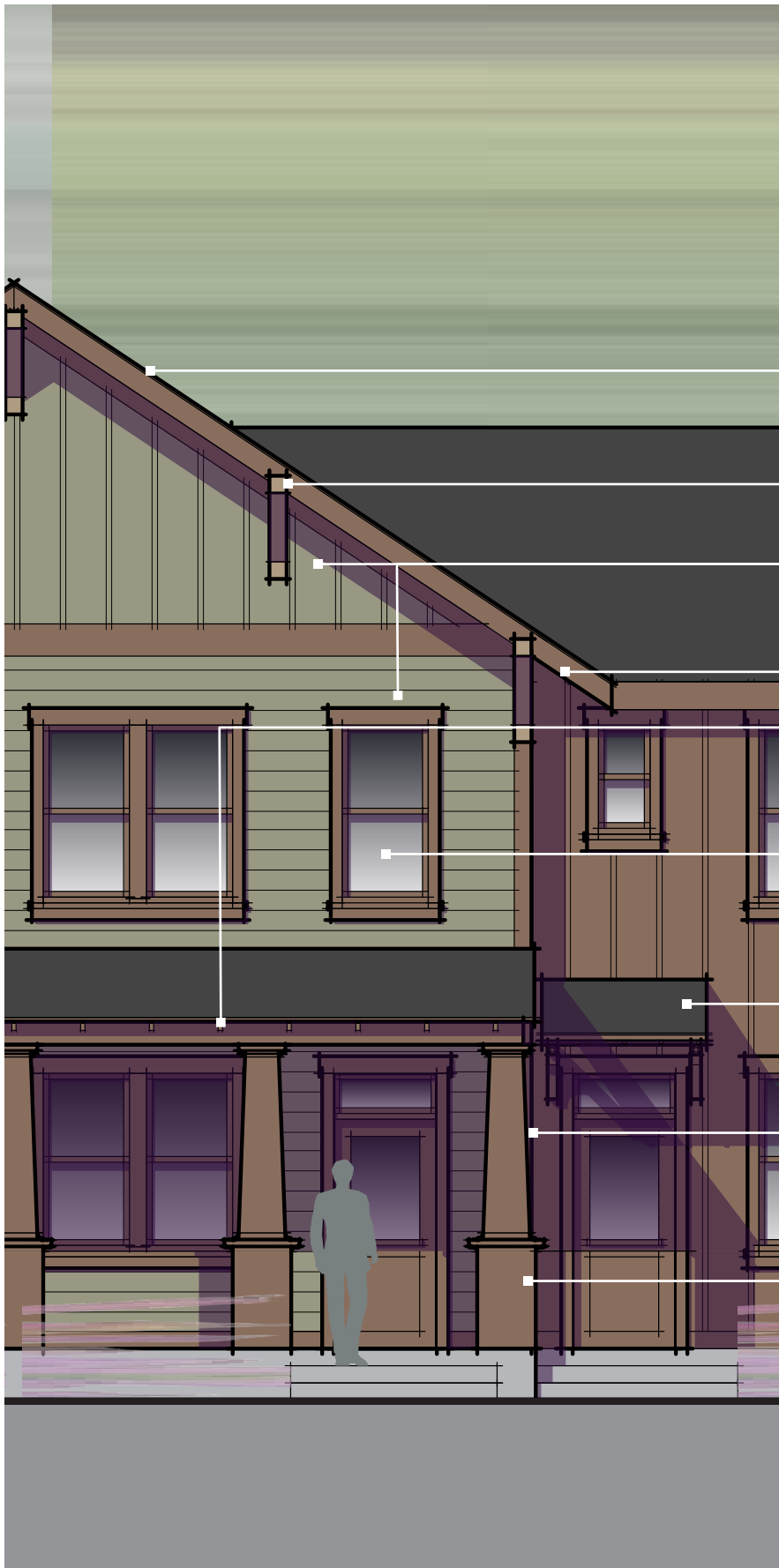
Entryway Element

Triplex

(TR) - Contemporary



Type Description	
This building type includes three units that may be situated side-by-side or stacked (shown side-by-side).	
Unit Range	3 du



**Roof: Low-pitched
with wide overhangs**
Typical Characteristic

Brackets
Ornamental Element

**Cladding: Siding,
board and batten**
Typical Characteristic

Exposed rafters
Ornamental Element

**Openings: Vertically
proportioned with mullion**
Typical Characteristic

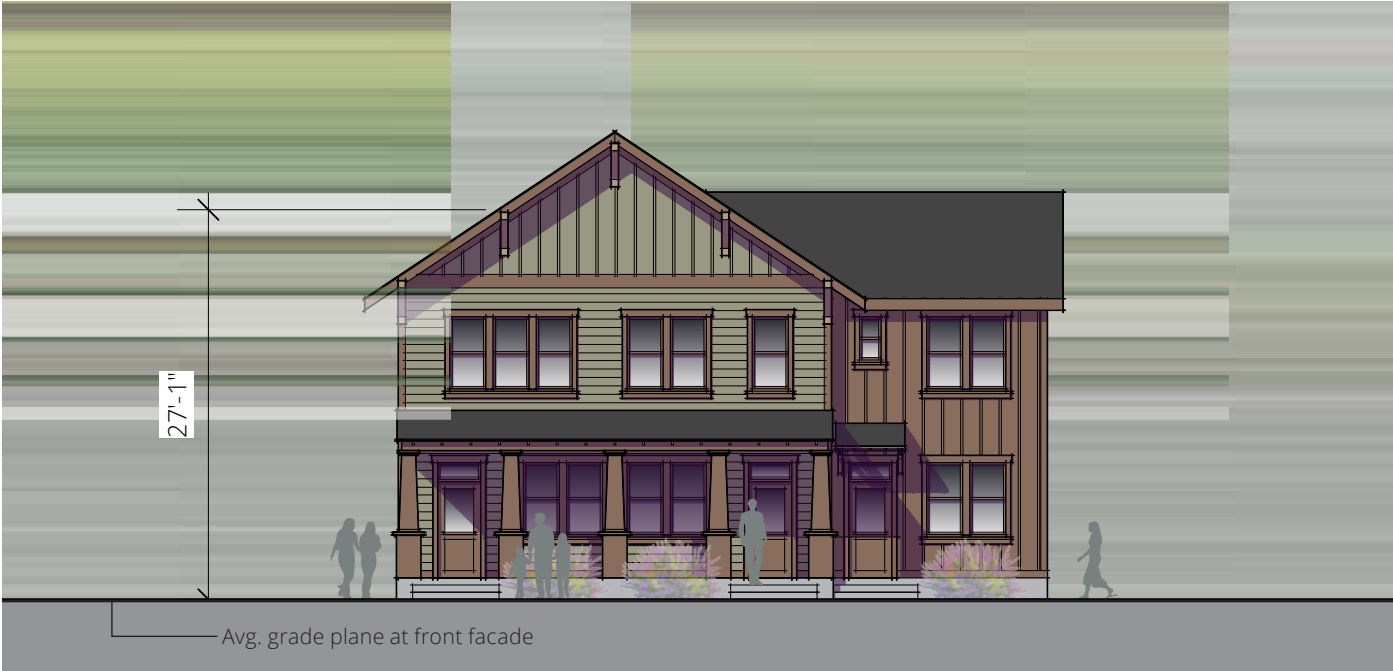
Overdoor
Entryway Element

Decorative columns
Ornamental Element

Covered porch
Entryway/Form Element

Triplex

(TR) - Southeastern Rustic



Type Description	
This building type includes three units that may be situated side-by-side or stacked (shown side-by-side).	
Unit Range	3 du



Roof: Sloped, simple eave
Typical Characteristic

Openings: Vertically and horizontally proportioned
Typical Characteristic

Cladding: Siding, board and batten, metal panel
Typical Characteristic

Overdoor
Form Element

Change in material
Decorative Element

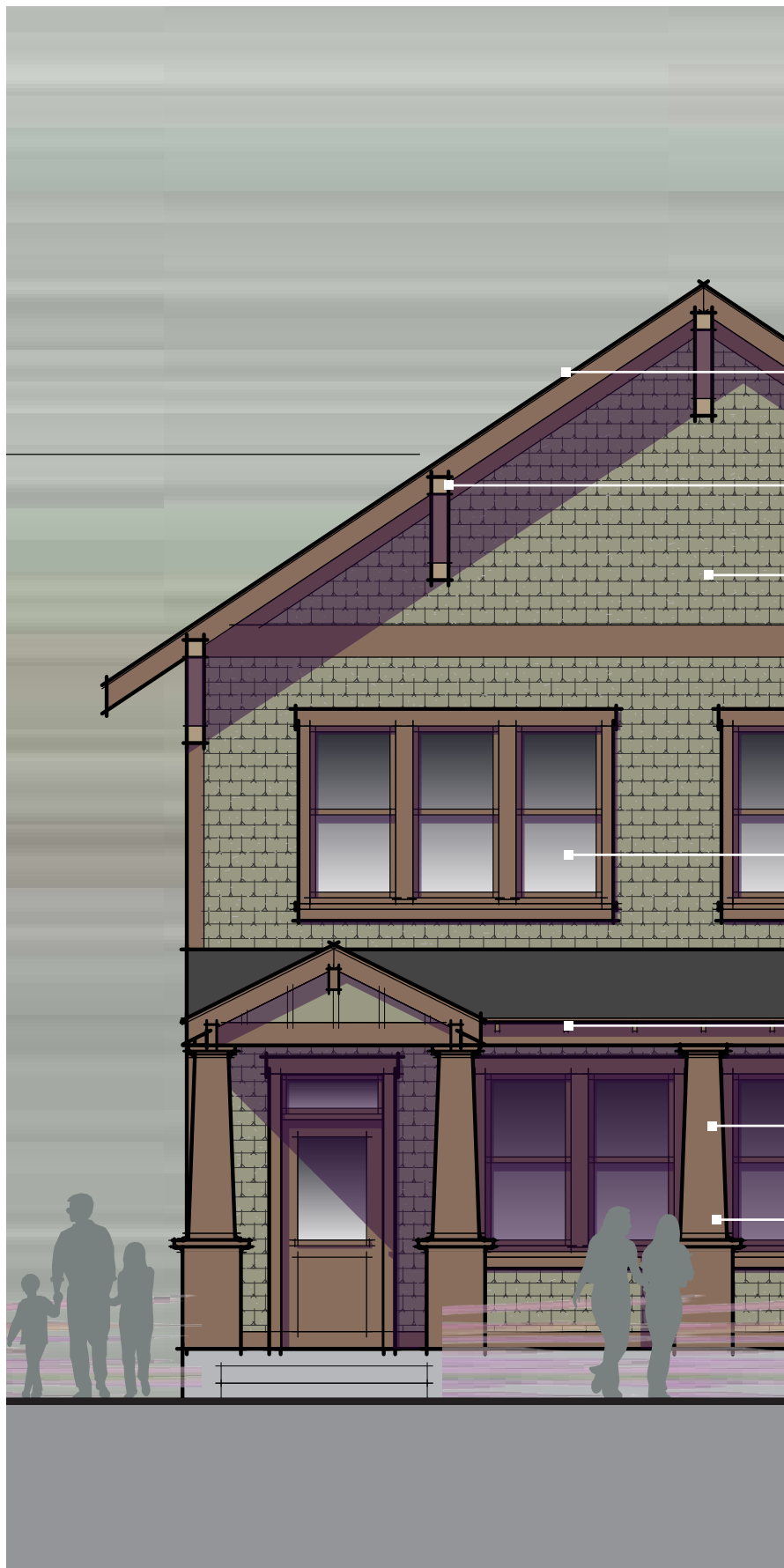
Inset porch
Entryway/Form Element

Duplex

(DU) - Contemporary



Type Description	
This building type includes two units that may be situated side-by-side or stacked (shown side-by-side).	
Unit Range	2 du



**Roof: Low-pitched
with wide overhangs**
Typical Characteristic

Brackets
Ornamental Element

Cladding: Shake siding
Typical Characteristic

**Openings: Vertically
proportioned with mullion**
Typical Characteristic

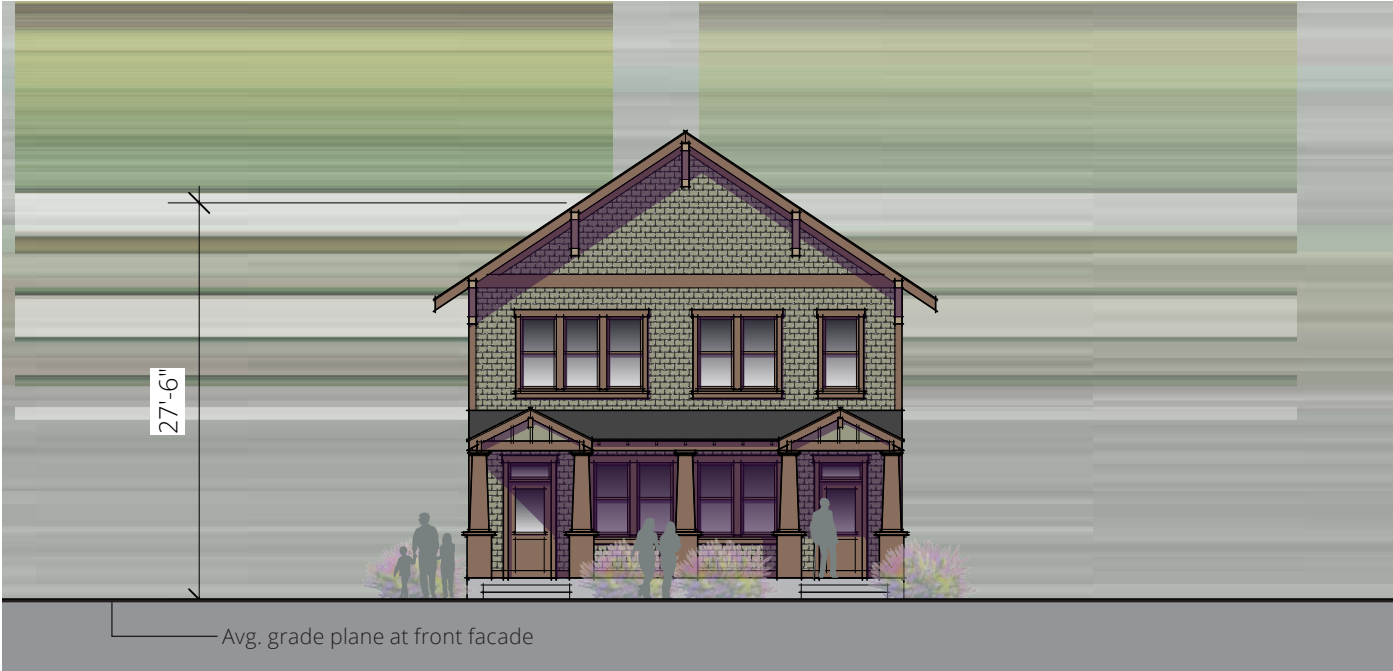
Exposed rafters
Ornamental Element

Decorative columns
Ornamental Element

Covered porch
Entryway/Form Element

Duplex

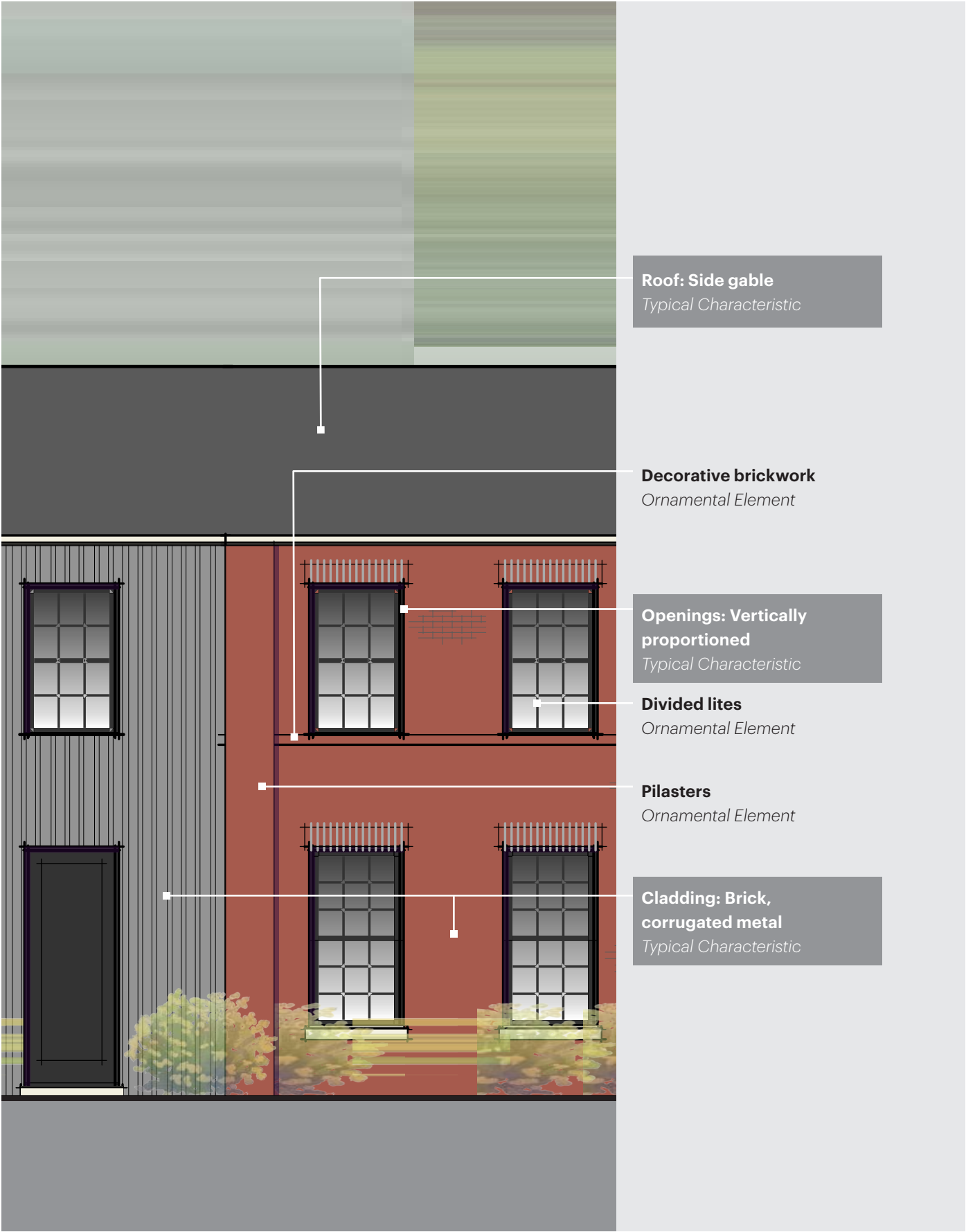
(DU) - Southeastern Rustic



Type Description

This building type includes two units that may be situated side-by-side or stacked (shown side-by-side).

Unit Range 2 du



Mews

(MW-A, MW-C) - Main Street/ Warehouse



Type Description	
This type offers attached single-family units along a unique pedestrian-oriented open space (called a "mews"). These units include tuck-under parking accessed from an alley.	
Unit Range (per bay)	1 du - 3 du
Composition	1 - 3 bays



Roof: Side gable
Typical Characteristic

Brick jack arch lintel
Ornamental Element

Openings: Vertically proportioned
Typical Characteristic

Divided lites
Ornamental Element

Brick string course
Ornamental Element

Overdoor
Entryway Element

Cladding: Brick
Typical Characteristic

Mews

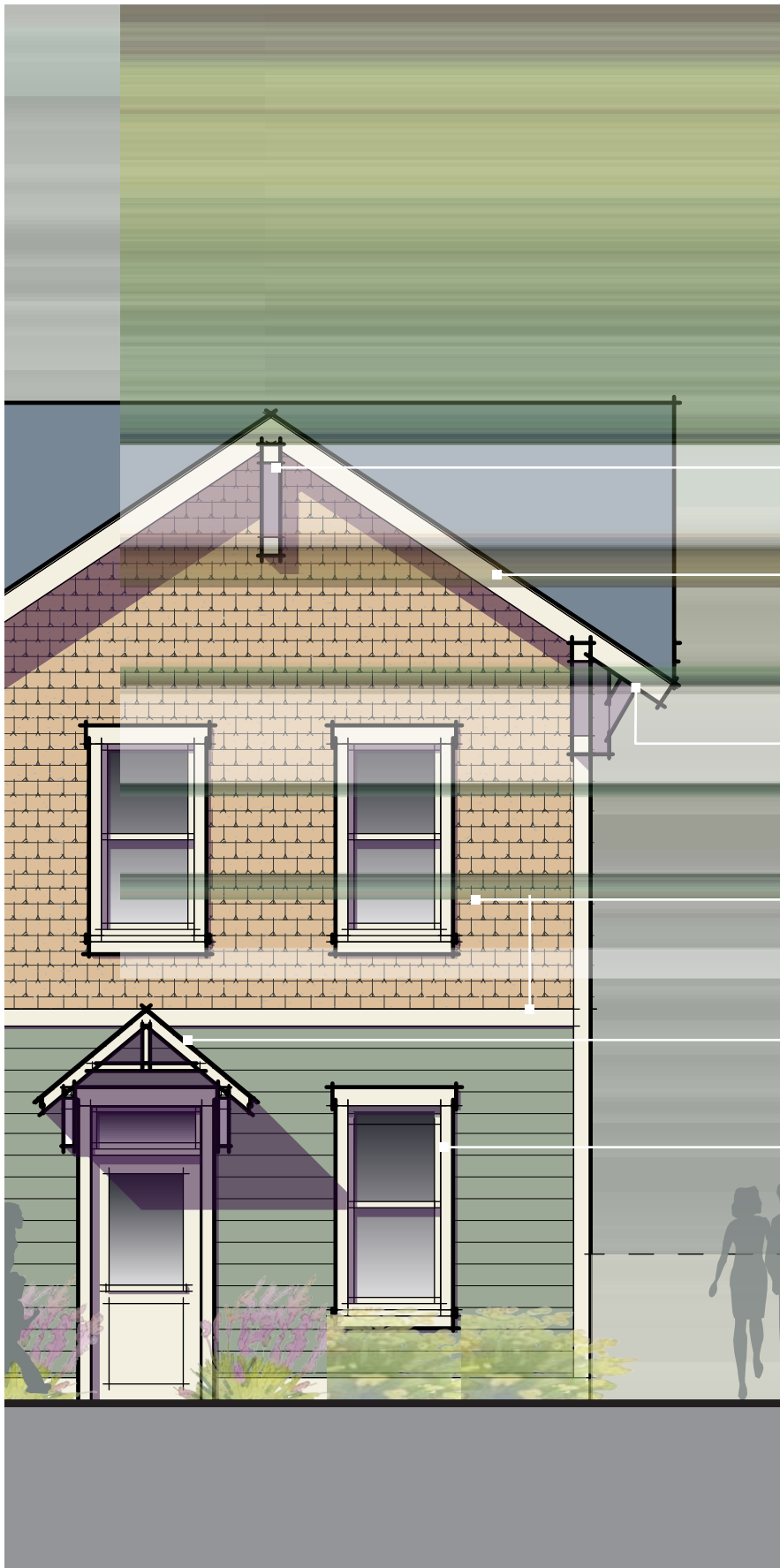
(MW-A, MW-C) - Southeastern Vernacular



Type Description

This type offers attached single-family units along a unique pedestrian-oriented open space (called a "mews"). These units include tuck-under parking accessed from an alley.

Unit Range (per bay)	1 du - 3 du
Composition	1 - 3 bays



Brackets

Ornamental Element

**Roof: Low slope
with wide eaves**

Typical Characteristic

Exposed rafters

Ornamental Element

Cladding: Siding, shingle

Typical Characteristic

Overdoor

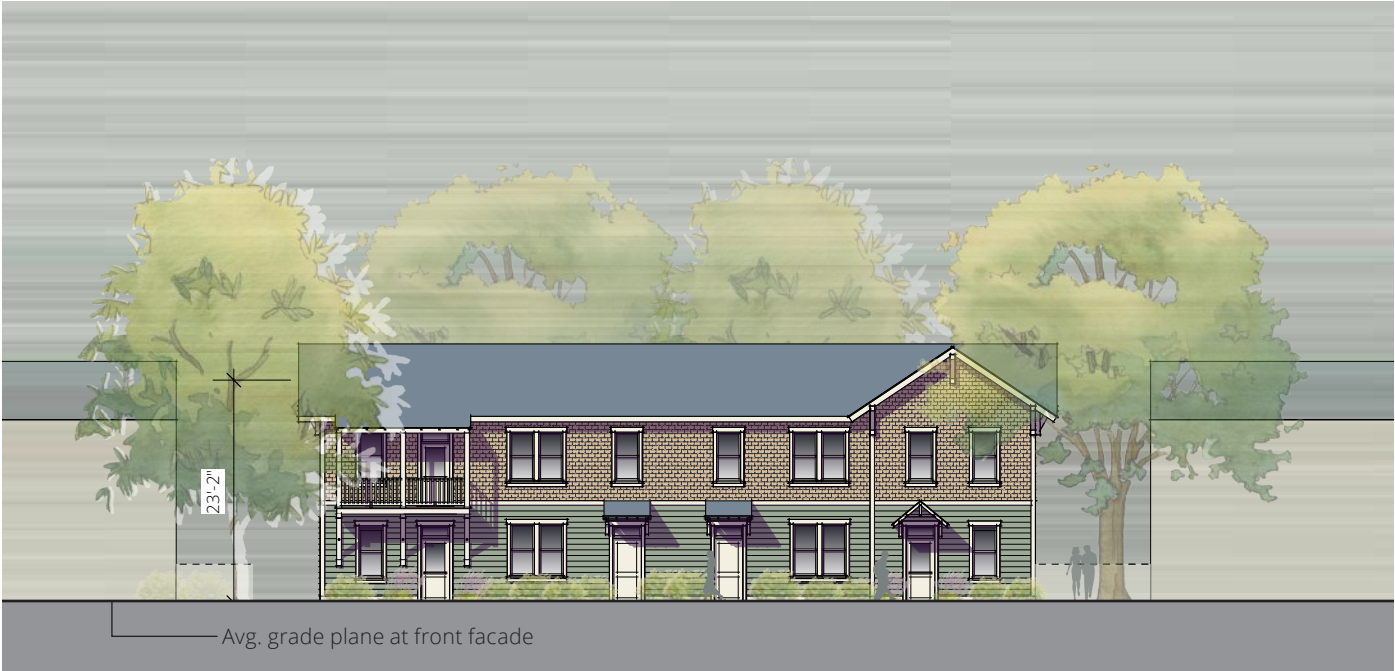
Entryway Element

**Openings: Vertically
proportioned**

Typical Characteristic

Mews

(MW-C) - Southeastern Rustic



Type Description	
This type offers attached single-family units along a unique pedestrian-oriented open space (called a "mews"). These units include tuck-under parking accessed from an alley.	
Unit Range (per bay)	1 du - 3 du
Composition	1 - 3 bays



Roof: Side gable
Typical Characteristic

Decorative brickwork
Ornamental Element

Openings: Vertically proportioned
Typical Characteristic

Divided lites
Ornamental Element

Overdoor
Entryway Element

Jack arch lintel
Ornamental Element

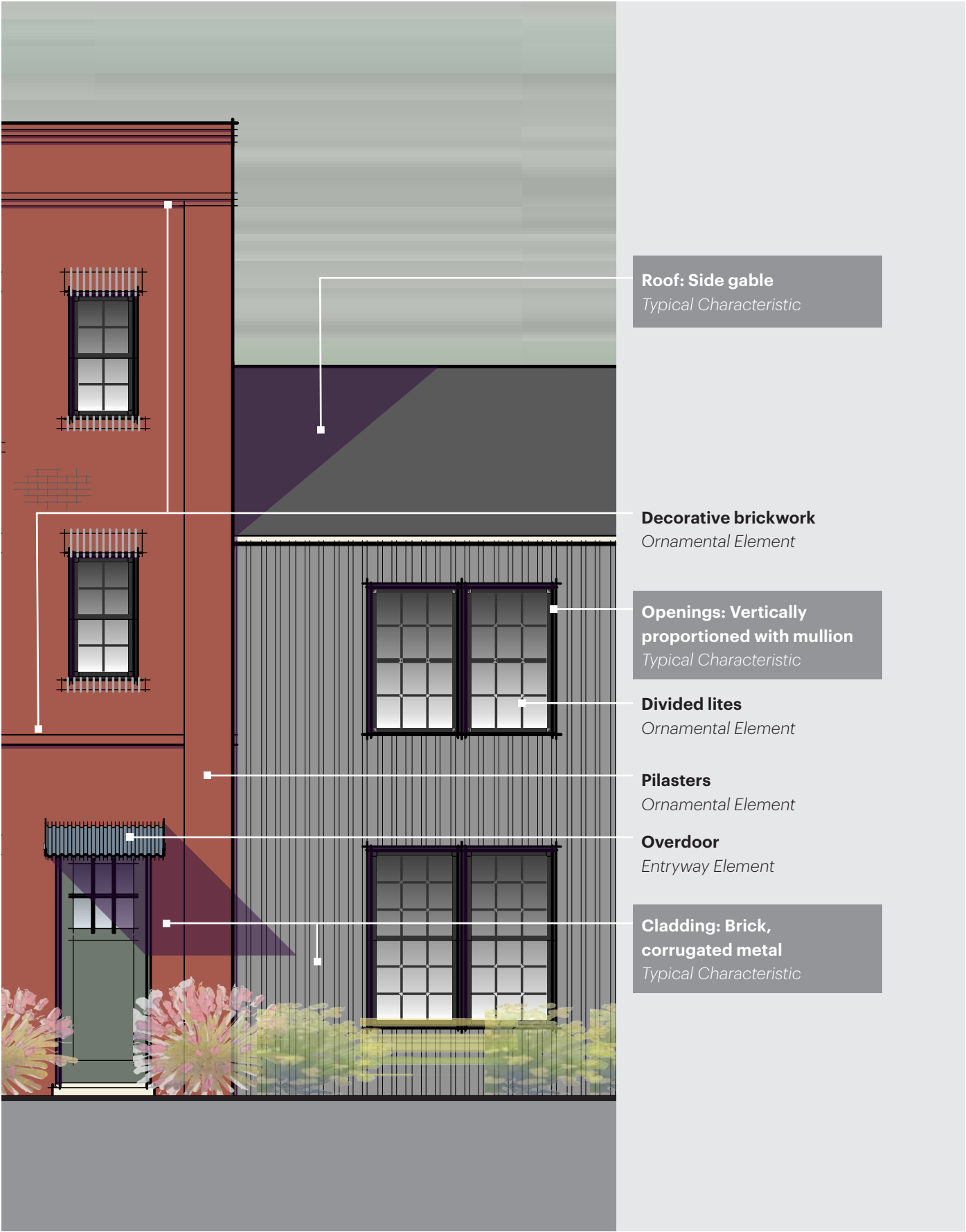
Cladding: Brick
Typical Characteristic

Mews

(MW-C) - Southeastern Vernacular



Type Description	
This type offers attached single-family units along a unique pedestrian-oriented open space (called a "mews"). These units include tuck-under parking accessed from an alley.	
Unit Range (per bay)	1 du - 3 du
Composition	1 - 3 bays



Mews

(MW-A, MW-E) - Main Street/ Warehouse



Type Description	
This type offers attached single-family units along a unique pedestrian-oriented open space (called a "mews"). These units include tuck-under parking accessed from an alley.	
Unit Range (per bay)	1 du - 3 du
Composition	1 - 3 bays



Mews

(MW-A, MW-E) - Southeastern Vernacular



Type Description

This type offers attached single-family units along a unique pedestrian-oriented open space (called a "mews"). These units include tuck-under parking accessed from an alley.

Unit Range (per bay)	1 du - 3 du
Composition	1 - 3 bays



Roof: Sloped, simple eave

Typical Characteristic

Openings: Vertically or horizontally proportioned

Typical Characteristic

Divided lites

Ornamental Element

Bay Window

Form Element

Overdoor

Entryway Element

Cladding: Siding

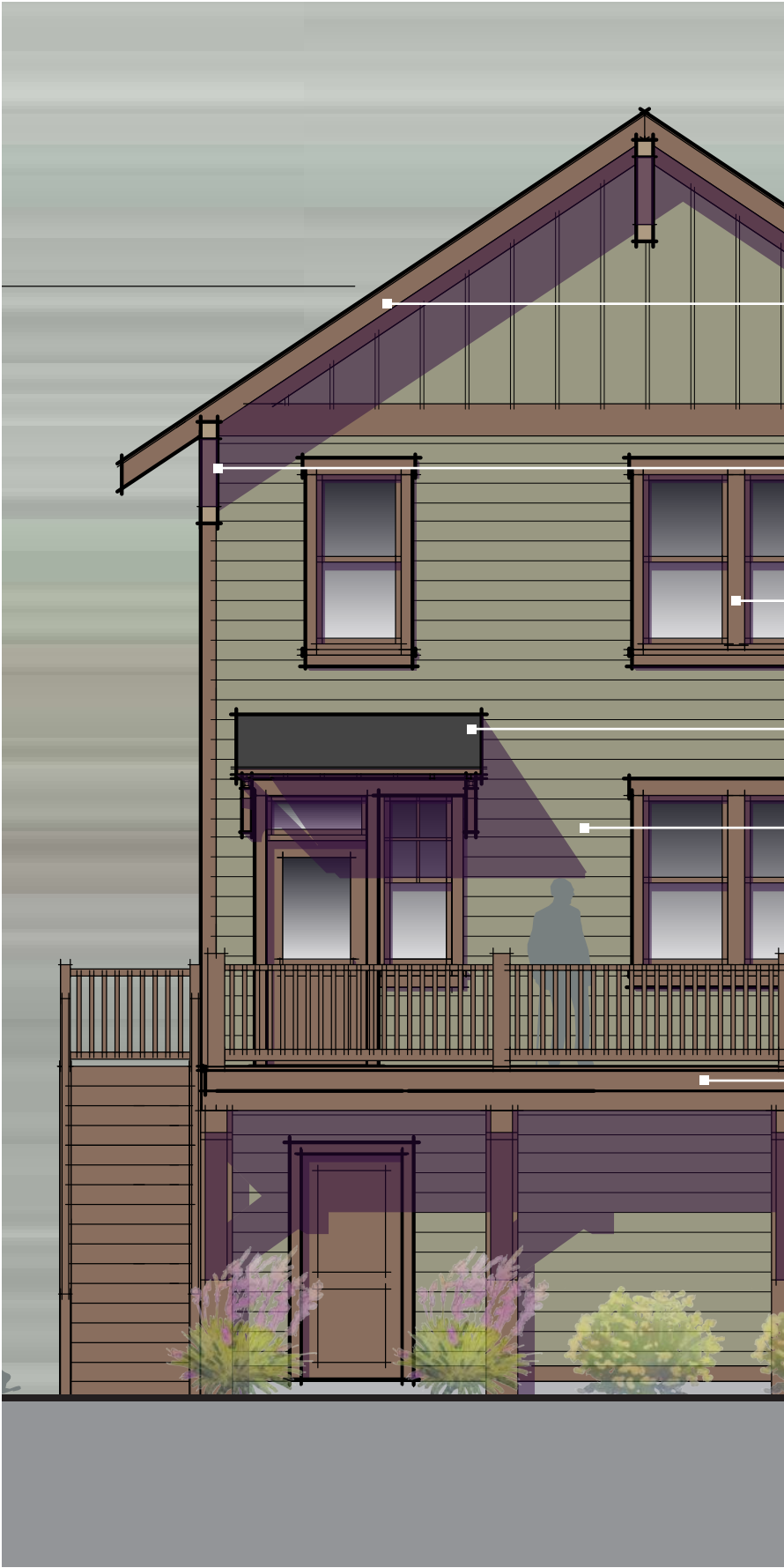
Typical Characteristic

Treehouse

(TE-A, TE-B) - Contemporary



Type Description	
This type features two tuck-under parking spots that can either be accessed from an alley or with a side-loaded garage. When located on an alley and facing a green, it can also be 2-stories, as grade requires, with external parking.	
Unit Range	1 du



Roof: Low-pitched with wide overhangs
Typical Characteristic

Brackets
Ornamental Element

Openings: Vertically proportioned with mullion
Typical Characteristic

Overdoor
Entryway Element

Cladding: Siding, fiber cement board
Typical Characteristic

Balcony
Element

Form

Treehouse

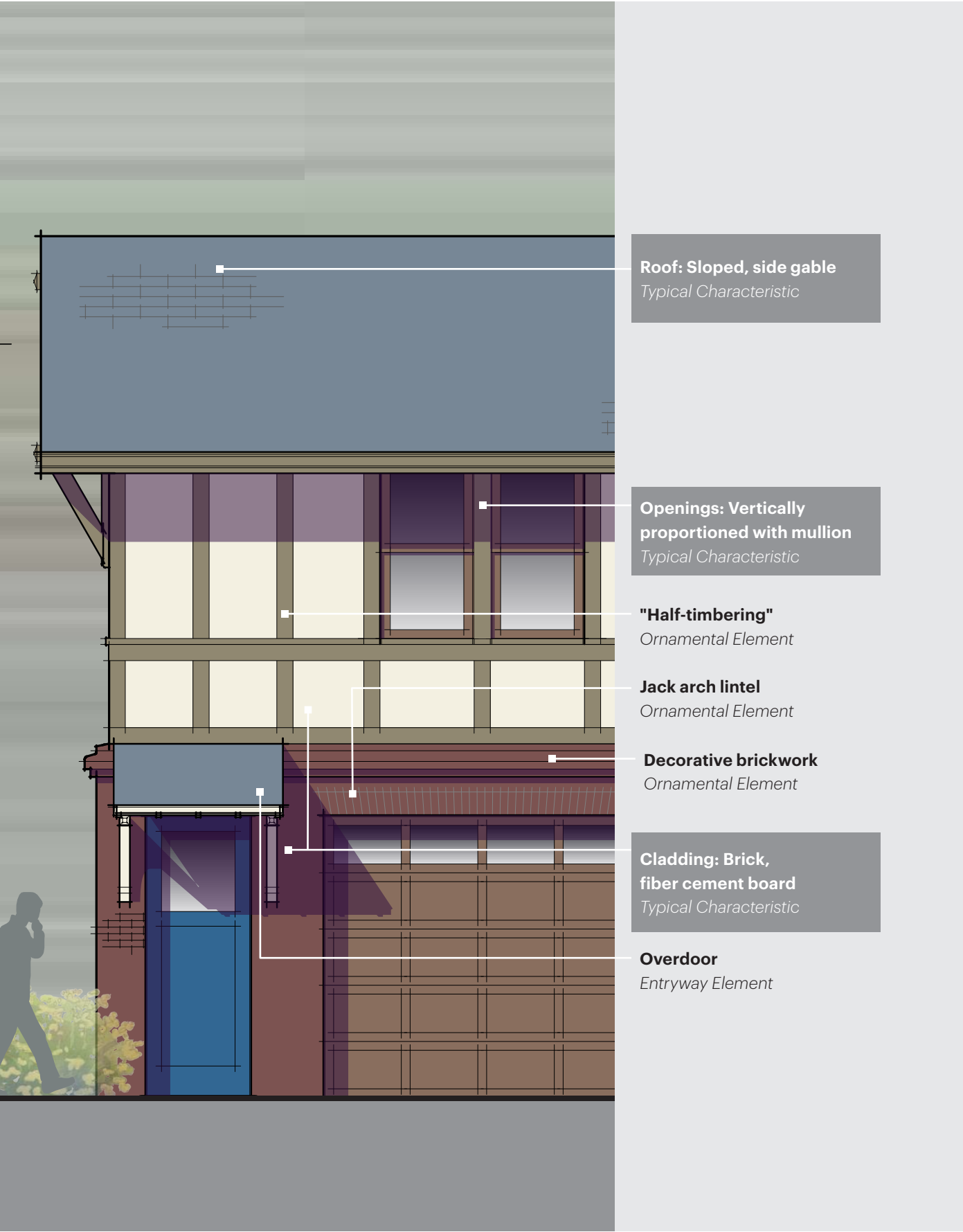
(TE-A, TE-B) - Southeastern Rustic



Type Description

This type features two tuck-under parking spots that can either be accessed from an alley or with a side-loaded garage. When located on an alley and facing a green, it can also be 2-stories, as grade requires, with external parking.

Unit Range 1 du



Carriage House

(CH) - Tudor



Type Description

This building combines a garage with a unit above. It shall be associated with larger multi-family building types to supplement parking and must be located off of an alley

Unit Range

1 du



Carriage House

(CH) - Southeastern Vernacular



Type Description	
This building combines a garage with a unit above. It shall be associated with larger multi-family building types to supplement parking and must be located off of an alley	
Unit Range	1 du



Roof: Sloped, simple eave
Typical Characteristic

Openings: Vertically and horizontally proportioned
Typical Characteristic

Projecting window surround
Ornamental Element

Overdoor
Entryway Element

Divided lites
Ornamental Element

Cladding: Corrugated metal, siding
Typical Characteristic

Townhouse

(TH1-A, TH2-B) - Contemporary



Type Description	
These building types are single-family attached units that feature 2 tuck-under parking spots accessed from an alley. It might be flat or step with topography.	
Unit Range (per bay)	1 du
Composition	3-5 bays

Roof: Flat with Parapet

Typical Characteristic

Decorative brickwork

Ornamental Element

**Openings: Vertically
proportioned**

Typical Characteristic

Projecting covered balcony

Entryway/Form Element

Brick jack arch lintel

Ornamental Element

Cladding: Brick, siding

Typical Characteristic

Townhouse

(TH1-A, TH2-B) - Southeastern Vernacular



Type Description	
These building types are single-family attached units that feature 2 tuck-under parking spots accessed from an alley. It might be flat or step with topography.	
Unit Range (per bay)	1 du
Composition	3-5 bays



Roof: Flat with parapet
Typical Characteristic

Decorative moulding
Ornamental Element

Awning
Entryway Element

Balcony
Form Element

Brick jack arch
Ornamental Element

Openings: Vertically proportioned
Typical Characteristic

Decorative brickwork
Ornamental Element

Overdoor
Entryway Element

Divided lites
Ornamental Element

Cladding: Siding, brick
Typical Characteristic

Townhouse

(TH2) - Southeastern Vernacular



Type Description	
These building types are single-family attached units that feature 2 tuck-under parking spots accessed from an alley. It might be flat or step with topography.	
Unit Range (per bay)	1 du
Composition	3-5 bays



Roof: Sloped, simple eave
Typical Characteristic

Inset balcony
Form Element

Divided lites
Ornamental Element

Openings: Vertically proportioned
Typical Characteristic

Overdoor
Entryway Element

Window shade element
Form Element

Cladding: Metal panel, shingle
Typical Characteristic

Townhouse

(TH2) - Contemporary



Type Description	
These building types are single-family attached units that feature 2 tuck-under parking spots accessed from an alley. It might be flat or step with topography.	
Unit Range (per bay)	1 du
Composition	3-5 bays

**Roof: Low slope
with wide eaves**
Typical Characteristic

Porch
Entryway/Form Element

Brackets
Ornamental Element

Exposed rafters
Ornamental Element

Divided lites
Ornamental Element

**Openings: Vertically
proportioned**
Typical Characteristic

Cladding: Shingle, brick
Typical Characteristic

Cottage

(CT-A) - Southeastern Rustic



Type Description	
This type is a detached unit under 1,000 GSF that does not exceed two stories. It can either sit on its own lot or around a common green.	
Unit Range	1 du

Roof: Front gable

Typical Characteristic

Porch

Entryway/Form Element

Exposed rafters

Ornamental Element

Divided lites

Ornamental Element

**Openings: Vertically
proportioned**

Typical Characteristic

Cladding: Board and batten

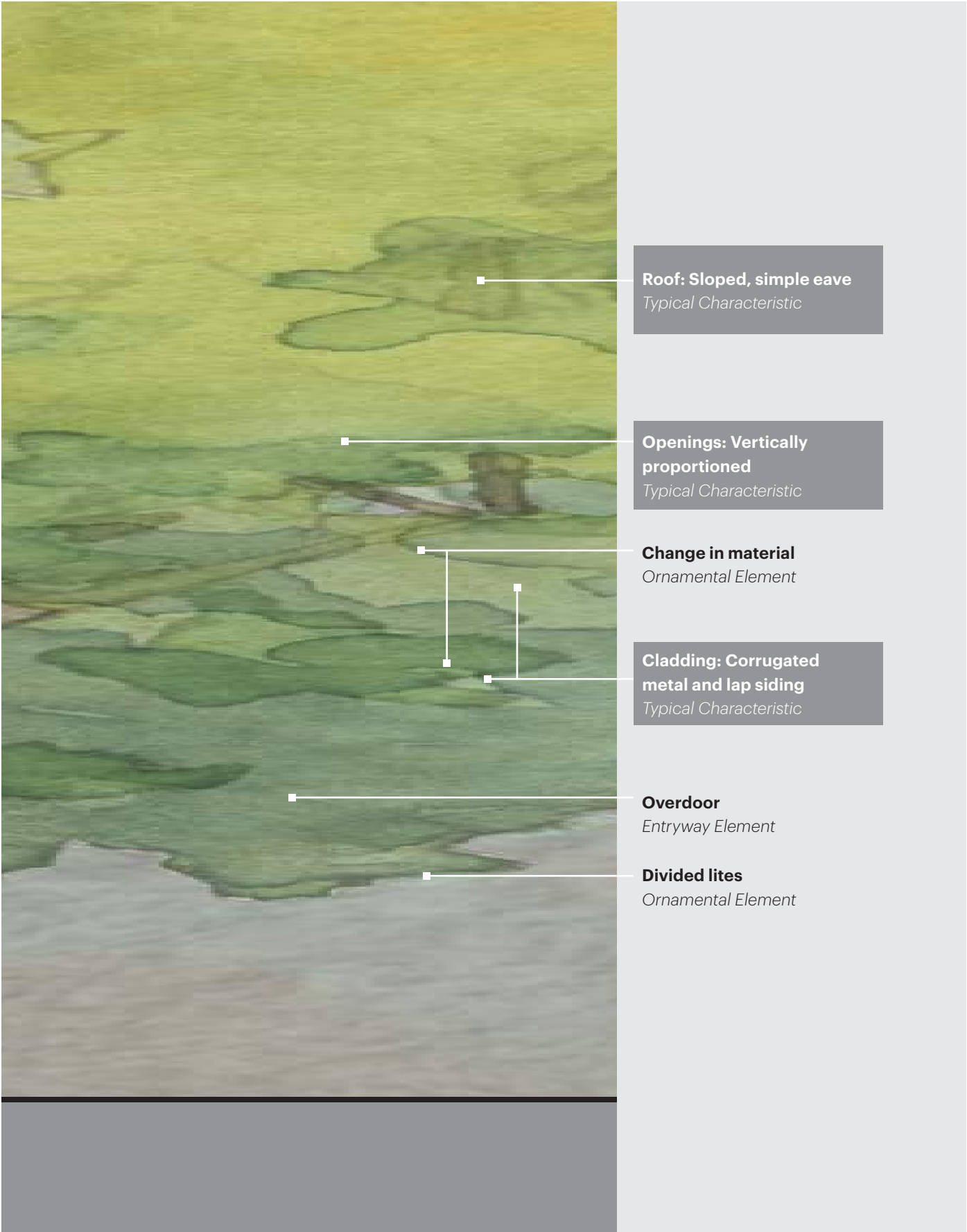
Typical Characteristic

Cottage

(CT-A) - Southeastern Vernacular



Type Description	
This type is a detached unit under 1,000 GSF that does not exceed two stories. It can either sit on its own lot or around a common green.	
Unit Range	1 du



Roof: Sloped, simple eave
Typical Characteristic

Openings: Vertically proportioned
Typical Characteristic

Change in material
Ornamental Element

Cladding: Corrugated metal and lap siding
Typical Characteristic

Overdoor
Entryway Element

Divided lites
Ornamental Element

Cottage

(CT-B) - Contemporary



Type Description

This type is a detached unit under 1,000 GSF that does not exceed two stories. It can either sit on its own lot or around a common green.

Unit Range 1 du



**Roof: Low slope
with wide eaves**
Typical Characteristic

Cladding: Siding, shingle
Typical Characteristic

Brackets
Ornamental Element

**Openings: Vertically
proportioned**
Typical Characteristic

Porch
Entryway/Form Element

Exposed rafters
Ornamental Element

Divided lites
Ornamental Element

Cottage

(CT-B) - Southeastern Rustic



Type Description	
This type is a detached unit under 1,000 GSF that does not exceed two stories. It can either sit on its own lot or around a common green.	
Unit Range	1 du

Roof: Sloped, simple eave

Typical Characteristic

Cladding: Corrugated metal, metal panel

Typical Characteristic

Divided lites

Ornamental Element

Openings: Vertically proportioned

Typical Characteristic

Step in plane

Form Element

Porch

Entryway/Form Element

Single Family Home

(SF-S) - Contemporary



Type Description	
This types is a detached unit that sits on its own lot that can be accessed either from a street or a public green.	
Unit Range	1 du

Roof: Sloped, simple eave
Typical Characteristic

Brackets
Ornamental Element

Divided lites
Ornamental Element

**Openings: Vertically
proportioned**
Typical Characteristic

Cladding: Brick, shingle
Typical Characteristic

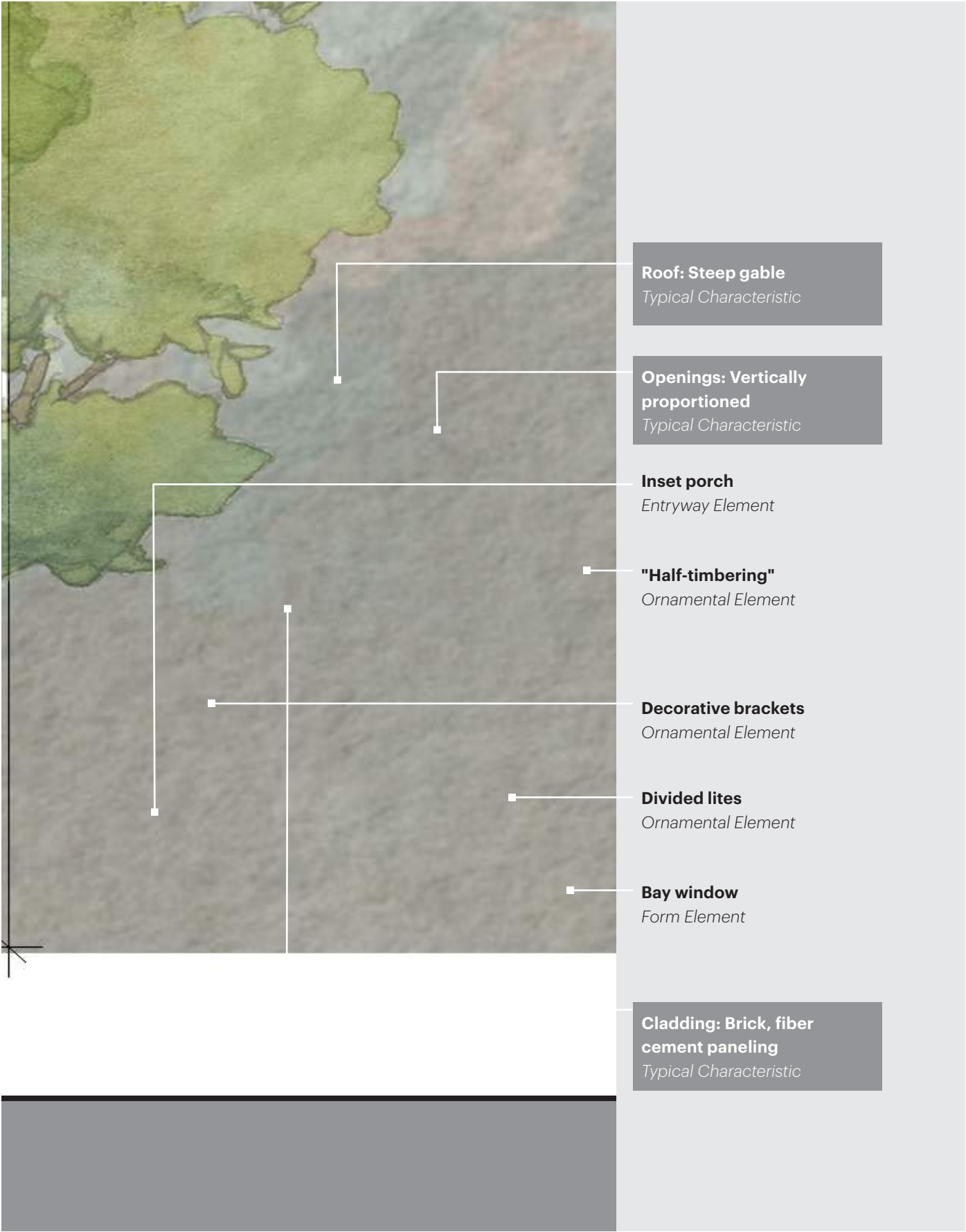
Porch
Entryway/Form Element

Single Family Home

(SF-S) - Southeastern Rustic



Type Description	
This types is a detached unit that sits on its own lot that can be accessed either from a street or a public green.	
Unit Range	1 du



Single Family Home

(SF-M) - Tudor



Type Description	
This types is a detached unit that sits on its own lot that can be accessed either from a street or a public green.	
Unit Range	1 du



Roof: Steep gable
Typical Characteristic

Openings: Vertically proportioned
Typical Characteristic

Dormer
Form Element

Engaged porch
Entryway Element

Exposed rafters
Ornamental Element

Shutters
Ornamental Element

Cladding: Siding
Typical Characteristic

Single Family Home

(SF-M) - Southeastern Vernacular



Type Description	
This types is a detached unit that sits on its own lot that can be accessed either from a street or a public green.	
Unit Range	1 du



Roof: Gable overhang with
Typical Characteristic

Dormer
Form Element

Decorative cornice
Ornamental Element

Columns
Ornamental Element

Openings: Vertically proportioned
Typical Characteristic

Shutters
Ornamental Element

Two-story covered porch
Entryway/Form Element

Divided lites
Ornamental Element

Cladding: Siding
Typical Characteristic

Single Family Home

(SF-L) - Southeastern Vernacular



Type Description	
This types is a detached unit that sits on its own lot that can be accessed either from a street or a public green.	
Unit Range	1 du



Roof: Gable overhang with
Typical Characteristic

Dormer
Form Element

Openings: Vertically proportioned
Typical Characteristic

Overdoor
Entryway Element

Divided lites
Ornamental Element

Cladding: Board and batten
Typical Characteristic

Single Family Home

(SF-L) - Contemporary



Type Description

This types is a detached unit that sits on its own lot that can be accessed either from a street or a public green.

Unit Range 1 du

